

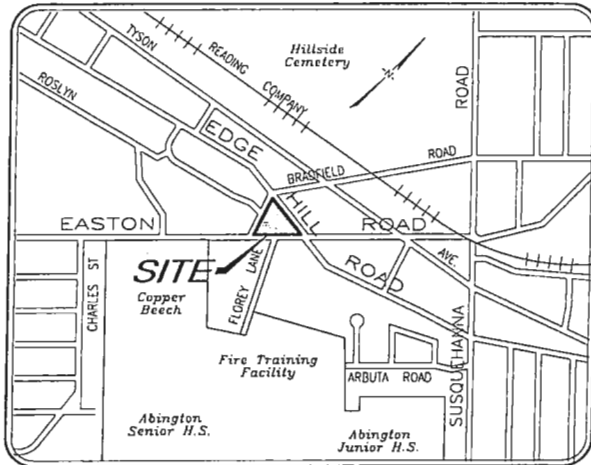
PRELIMINARY / FINAL MINOR LAND DEVELOPMENT PLAN

PROPOSED REDEVELOPMENT OF BURGER KING RESTAURANT #3284

900 EASTON ROAD
ROSLYN, PA 19001

DEVELOPED FOR:

FAMILY DINING, INC.



LOCATION MAP
SCALE: 1" = 600'

**COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY**

On this day of ... 2018, before me the undersigned a Notary Public of the Commonwealth of Pennsylvania, residing in ...
I have known and conversed with the undersigned ...
I hereby certify that the above named ...
and that the same is the true and correct copy of the ...
as recorded in Book ... of the Records of Deeds Office

Witness my hand and official seal this day and year aforesaid.

Notary Public

My Commission Expires

CERTIFICATION OF TRUE OWNERSHIP:

I, GARY A. TILFORD, Notary Public, residing in ...
do hereby certify that the above named ...
as recorded in Book ... of the Records of Deeds Office

GARY A. TILFORD, Notary Public, residing in ...
do hereby certify that the above named ...
as recorded in Book ... of the Records of Deeds Office

APPROVAL OF THE ABINGTON TOWNSHIP BOARD OF COMMISSIONERS:

This development plan was approved by the Board of Commissioners of Abington Township by Resolution No. XXX of the ... day of ... 2018

Attest
This cert
Secretary
Engineer

PROFESSIONAL ENGINEER'S CERTIFICATION:

Richard A. Stoneback, P.E., a registered professional engineer, licensed in the Commonwealth of Pennsylvania, Engineer No. 226101, do hereby certify to the best of my knowledge, information and belief, that the information contained in the accompanying plans, specifications and reports, has been prepared in accordance with applicable engineering practice, is true and correct, and is a complete and accurate representation of the design and development proposed, and that I accept full and exclusive responsibility for the veracity, accuracy, and content of the same, and that I am duly licensed and qualified to perform the duties and functions of a professional engineer in the Commonwealth of Pennsylvania.

SIGNATURE: RICHARD A. STONEBACK, P.E.
PROFESSIONAL ENGINEER



PROFESSIONAL SURVEYOR'S CERTIFICATION:

Gary A. Tilford, P.S., a Registered Professional Surveyor, licensed in the Commonwealth of Pennsylvania, Surveyor No. 33102, do hereby certify to the best of my knowledge, information and belief, that the information contained in the accompanying plans, specifications and reports, has been prepared in accordance with applicable engineering practice, is true and correct, and is a complete and accurate representation of the design and development proposed, and that I accept full and exclusive responsibility for the veracity, accuracy, and content of the same, and that I am duly licensed and qualified to perform the duties and functions of a professional surveyor in the Commonwealth of Pennsylvania.

SIGNATURE: GARY A. TILFORD, P.S.
PROFESSIONAL SURVEYOR



APPLICANT/DEVELOPER

FAMILY DINING, INC.
C/O
GREG WINANS, COO
1780 SWEDE ROAD
BLUE BELL, PA 19422
484-645-9980

RECORD OWNER:

GENERAL AUTO OUTLET, L.P.
C/O
GOODMAN PROPERTIES
636 OLD YORK ROAD, 2nd FL.
JENKINTOWN, PA 19046
215-885-8383

ARCHITECTURE

SCF ARCHITECTURE, LLC
c/o LEE ANN MILLER, MANNING DESIGN, LLC
233 MAIN STREET #1
SCHWENKSVILLE, PA 19473
610-287-0184

LANDSCAPE CONSULTANT

INFOCUS PLANNING
7715 CRITENDON STREET #343
PHILADELPHIA PA, 19118
267-336-7411

* PLAN SHEETS 1 & 2 TO BE RECORDED WITH THE COUNTY RECORDER OF DEEDS OFFICE. PLAN SHEETS 3 THROUGH 6 AND LANDSCAPE PLANS LP-1 TO LP-2 INCLUSIVE, ON RECORD AT ABINGTON TOWNSHIP SHALL BE CONSIDERED A PART OF THE APPROVED PRELIMINARY/FINAL MINOR PLAN AS IT IS RECORDED WITH SAME.

Civil Engineering
Charles E. Shoemaker, Inc. 215-887-2165
1007 Edge Hill Road, Abington, PA 19001

No. PLAN TITLE

SHEET No.	DESCRIPTION	LAST REVISED
1	COVER SHEET - RECORD PLAN (1 OF 2)	5/08/18
2	SITE PLAN - RECORD PLAN (2 OF 2)	5/08/18
3	EXISTING FEATURES / DEMOLITION PLAN	5/08/18
4	PLAYGROUND ADDITION PLAN	5/08/18
5	TWO LANE DRIVE-THRU PLAN	5/08/18
6	CONSTRUCTION DETAILS	5/08/18

REFERENCE PLANS

InFocus Planning - Land Planning and Landscape Architecture
Rachel Scalan Vahey, NLA, ASLA, LEED AP

No. PLAN TITLE

SHEET No.	DESCRIPTION	LAST REVISED
LP-1	LANDSCAPE PLAN	5/08/18
LP-2	LANDSCAPE DETAILS	5/08/18

Architecture
SCF Architecture - c/o Lee Ann Miller, Manning Design, LLC
233 Main Street, #1, Schwenksville, PA 19473

No. PLAN TITLE

SHEET No.	DESCRIPTION	LAST REVISED
A3.1	FRONT ELEVATION	3/21/18

MCPC No. #18-XXXX-XX

PROCESSED AND REVIEWED. Report prepared by Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date

For the Director
Montgomery County Planning Commission

MONTGOMERY COUNTY RECORDER OF DEEDS

Recorded this day of ... 2018, in the office for the recording of deeds, etc., in the County of Montgomery, in the State of Pennsylvania.



TAX PARCEL NO. 30-00-13851-00-5
BLOCK / UNIT 357 / 018
SITE ADDRESS 900 EASTON ROAD ROSLYN, PA 19001
DEED BOOK - PAGE 0047-01897

OWNER OF RECORD
GENERAL AUTO OUTLET, L.P.
C/O GOODMAN PROPERTIES
636 OLD YORK ROAD, 2nd FL.
JENKINTOWN, PA 19046

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
ABINGTON TOWNSHIP, PA 19001
PHONE: 215-887-2165
FAX: 215-887-7791
E-MAIL: chief@ceshoemaker.com

DATE	REVISION	BY

COVER SHEET - RECORD PLAN
900 EASTON ROAD
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for
FAMILY DINING, INC.
1780 SWEDE ROAD, BLUE BELL, PA 19422

DATE MAY 8, 2018
DWG NO. A-8-774
JOB NO. 24830
SHEET NO. 1 of 6

OFF-STREET PARKING SEC. 2300.

PROPERTY USE - (C-22) RESTAURANT, FAST FOOD

REQUIREMENT One (1) off-street parking space for every 50 S.F. of gross leasable floor area...

Public Transportation Reduction Factors: 1. 25% reduction for every 200 feet of a bus stop...

"Gross Leasable Floor Area" excludes the following areas within the existing restaurant and proposed play area addition:

- 1. Mechanical equipment rooms and water closets
2. Permanent lockers not used for seating
3. Permanent bathroom facilities
4. Design elements for handicapped accessibility

EXISTING PARKING REQUIREMENTS:

SEATING AREA: (Dining room devoted to patron use)
Net Floor Area 1451 SF
DIVIDED BY (1) PARKING SPACE PER 36 SF

NET FLOOR AREA = 1451 SF / 36 SF / P.S. = 40.28 Parking Spaces

OR (whichever is lesser number)

NUMBER OF SEATS:
TOTAL SEATING 86 SEATS
DIVIDED BY (1) PARKING SPACE/THREE (3) SEATS = 29 Parking Spaces

PUBLIC TRANSPORTATION REDUCTIONS:
1. 25 Bus Shelter Station 26 PARKING SPACES (-) 26 = 0.6 P.S.

EXISTING PARKING REQUIRED = 29 Parking Spaces
EXISTING ON-SITE PARKING = 85 PARKING SPACES

PARKING LOT AND FRONTAGE STANDARDS: SEC. 2310.

DRIVE ASIDE WIDTH SEC. 2310.A. REQUIRED EXISTING PROPOSED
TWO WAY 24 FT. 24 FT. Min. 24 FT. Min.

DRIVE ASIDE WIDTH SEC. 2310.D.
SIDE TO PARKING OR ACCESS DRIVE SEPARATION 5 FT. 1 FT. (Drive-Thru) 1 FT. (Drive-Thru)

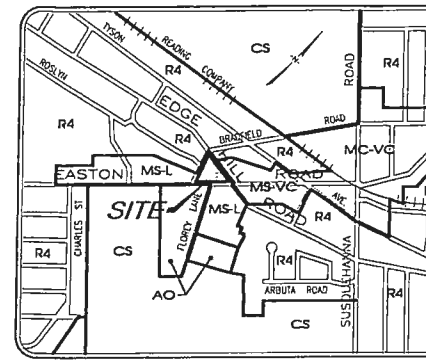
* - INDICATES AN EXISTING NON-CONFORMING CONDITION

GENERAL NOTES:

- 1. Metes, Bounds and Area of subject property taken from deed from Plan of Property made for Family Dining, Inc. by Charles E. Shoemaker, Inc. dated October 23, 1979 and last revised October 7, 1982.
2. Topographical surveys were performed by Charles E. Shoemaker, Inc. during May & October 2017 to measure existing features and elevations.
3. The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map No. 42091C0382G, (Panel 382 of 451), effective March 2, 2016.

LEGEND

- EXISTING CONTOUR LINE
EXISTING SPOT ELEVATION
EXISTING TOP & BOTTOM CURB ELEVATION
EXISTING FENCE
EXISTING FIRE HYDRANT
EXISTING UTILITY POLE
EXISTING GAS VALVE
EXISTING WATER VALVE
EXISTING SEWER CLEAN OUT
EXISTING WATER CURB STOP
EXISTING STORM SEWER w/ INLET
EXISTING SANITARY SEWER w/ MANHOLE
EXISTING OVERHEAD WIRE
EXISTING ELECTRIC CONDUIT
EXISTING GAS MAIN
EXISTING WATER MAIN
ZONING DISTRICT LINE
PROPOSED BUILDING ADDITION
PROPOSED DRIVEWAY
PROPOSED CONCRETE WALK OR PAVEMENTS
LIMIT OF DISTURBANCE



SCALE: 1" = 800'

Table with columns: REGULATORY, LOT USE, DIMENSIONAL STANDARDS, SETBACKS, BUILDINGS, PARKING, DRIVE-THRU, DRIVE-THROUGH, STANDING SPACES, INGRESS/GRESS, LOT AREA, LOT WIDTH, BUILDING SETBACK FROM ADJUTING R/W/R/R/D DISTRICTS, TRASH STORAGE FROM ADJUTING R/W/R/R/D DISTRICTS, BUILDINGS, FACADE HEIGHT, STREET-FACING FACADE(S), GRADING FLOOR(S), UPPER STORES, SETBACK FROM STREET WALL AND LANDSCAPE, PARKING WITHIN BETWEEN PRINCIPAL BUILDING AND SIDE LOT LINE, PARKING SETBACK FROM ADJUTING R/W/R/R/D DISTRICTS, PARKING SETBACK FROM ALL OTHER DISTRICTS, STREET ACCESS WIDTH. Includes a table for DRIVE-THRU and DRIVE-THROUGH standards.

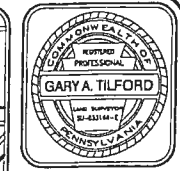
- (1) The longest building setback must have at least 50% of its front facade located in the sub-lot-line.
(2) Maximum distance from curb, with Street High and Street Parking and Street Access in front.
(3) Existing building setbacks, upper floor balconies and similar architectural features placed on the front side of the building may extend closer to the street than the minimum setback line, and/or up to three feet into the right-of-way, but no closer than four feet to the curb line.
(4) An island will be required to separate adjacent lots at corner lot entrances.

* - INDICATES AN EXISTING NON-CONFORMING CONDITION



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776

SERIAL No. 20171150863



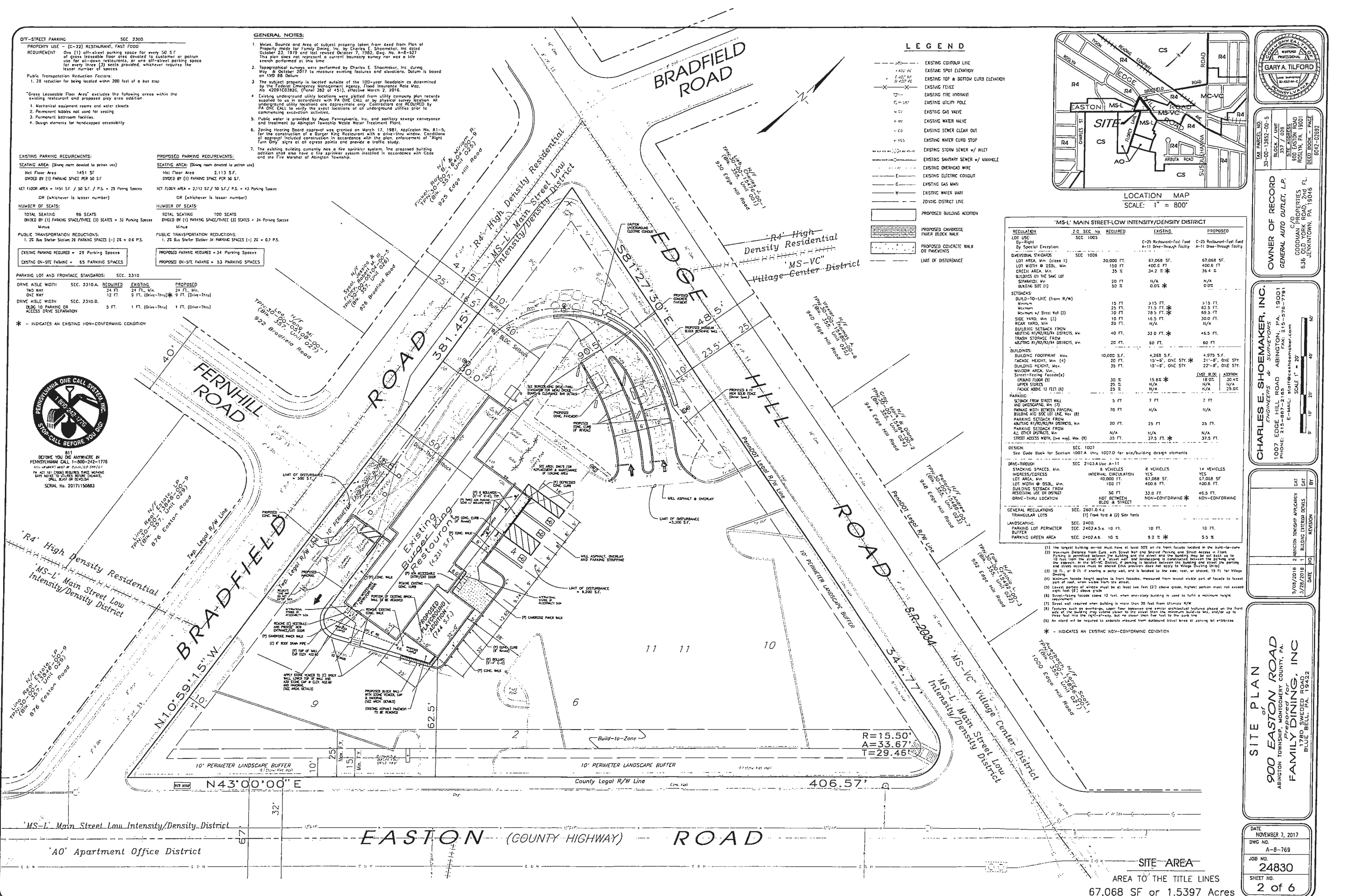
OWNER OF RECORD: GENERAL AUTO OUTLET, L.P.
C/O GOODMAN PROPERTIES
636 OLD YORK ROAD, 2nd FL.
JENKINTOWN, PA 19046

CHARLES E. SHOEMAKER, INC.
1007 EDGE HILL ROAD
ABINGTON, PA 19001
PHONE: 215-887-2165
E-MAIL: info@ceshoemaker.com

Table with columns: DATE, NO., REVISION. Includes dates 5/09/2018, 3/29/2018 and revision numbers 1, 2.

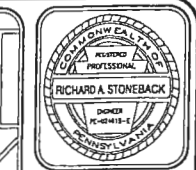
SITE PLAN of 900 EASTON ROAD
FAMILY DINING, INC.
BLVD BELLEVILLE, PA 19122

DATE: NOVEMBER 7, 2017
DWC NO.: A-8-769
JOB NO.: 24830
SHEET NO.: 2 of 6





BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
 800 242-2422
 PA ACT 181 FROM REQUIRES TIME BONDING AND NOTICE TO ADJACENT OWNERS.
 SERIAL No. 20171150683



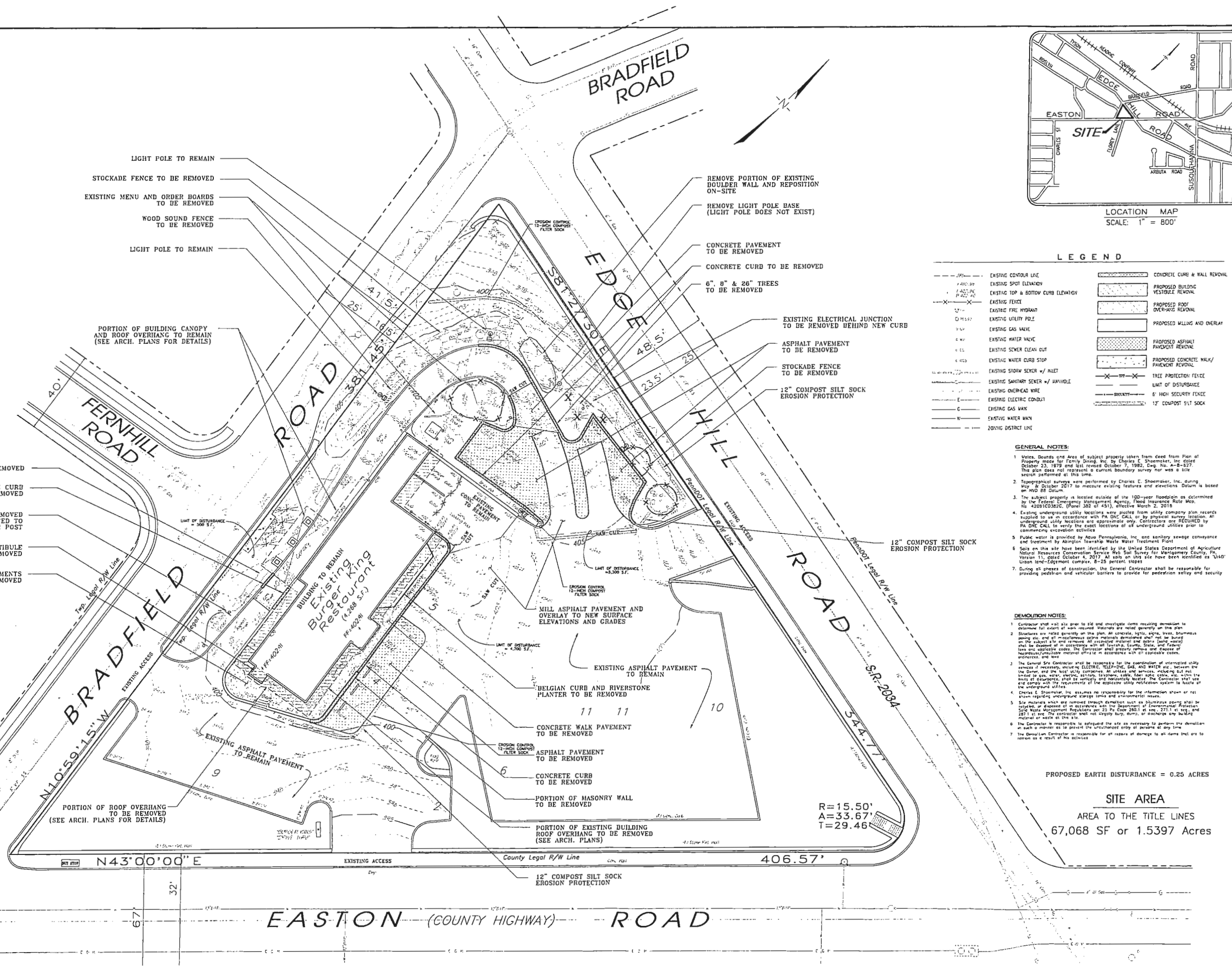
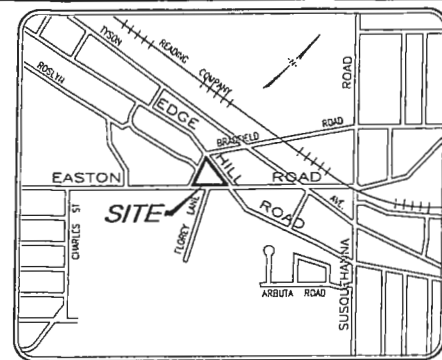
OWNER OF RECORD
 GENERAL AUTO OUTLET, L.P.
 C/O
 GOODMAN PROPERTIES
 636 OLD YORK ROAD, 2nd FL.
 JENKINTOWN, PA 19046

CHARLES E. SHOEMAKER, INC.
 ENGINEERS & SURVEYORS
 1007 EDGE HILL ROAD ABBINGTON, PA 19001
 PHONE: 215-887-2105 FAX: 215-376-7791
 E-MAIL: charles@eshoemaker.com

DATE	NO.	REVISION	BY
5/08/2018	2	ADDITION TOWNSHIP SUBDIVISION	CAT
3/28/2018	1	BUILDING DISTURBANCE	CAT

EXISTING FEATURES / DEMOLITION PLAN
 900 EASTON ROAD
 ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
 Prepared for
FAMILY DINING, INC.
 BLUE BELT, PENN., 19422

DATE: NOVEMBER 7, 2017
 DWG NO.: A-8-770
 JOB NO.: 24830
 SHEET NO.: 3 of 6



LEGEND

---	EXISTING CONTOUR LINE	---	CONCRETE CURB & WALL REMOVAL
---	EXISTING SPOT ELEVATION	---	PROPOSED BUILDING VESTIBULE REMOVAL
---	EXISTING TOP & BOTTOM CURB ELEVATION	---	PROPOSED ROOF OVERHANG REMOVAL
---	EXISTING FENCE	---	PROPOSED MILLING AND OVERLAY
---	EXISTING FIRE HYDRANT	---	PROPOSED ASPHALT PAVEMENT REMOVAL
---	EXISTING UTILITY POLE	---	PROPOSED CONCRETE WALK/PAVEMENT REMOVAL
---	EXISTING GAS VALVE	---	TREE PROTECTION FENCE
---	EXISTING WATER VALVE	---	LIMIT OF DISTURBANCE
---	EXISTING SEWER CLEAN OUT	---	6" HIGH SECURITY FENCE
---	EXISTING WATER CURB STOP	---	12" COMPOST SILT SOCK
---	EXISTING SLOW SEWER w/ INLET	---	
---	EXISTING SANITARY SEWER w/ MANHOLE	---	
---	EXISTING OVERHEAD WIRE	---	
---	EXISTING ELECTRIC CONDUIT	---	
---	EXISTING GAS MAIN	---	
---	EXISTING WATER MAIN	---	
---	ZONING DISTRICT LINE	---	

GENERAL NOTES:

- Notes, Details and Area of subject property taken from deed from Plan of Property maps for Family Dining by Charles E. Shoemaker, Inc. dated October 23, 1979 and last revised October 7, 1982, Dwg. No. A-8-827. This plan does not represent a current boundary survey nor was a title search performed at this time.
- Topographical surveys were performed by Charles E. Shoemaker, Inc. during May & October 2017 to measure existing features and elevations. Datum is based on NAD 83 Datum.
- The subject property is located outside of the 100-year floodplain as determined by the Federal Emergency Management Agency, Flood Insurance Rate Map No. 42091C0382C, (Panel 302 of 451), effective March 2, 2016.
- Existing underground utility locations were determined from utility company plan records supplied to us in accordance with PA DNE CALL or by physical survey location. All underground utility locations are approximate only. Contractors are REQUIRED by PA DNE CALL to verify the exact locations of all underground utilities prior to commencing excavation activities.
- Public water is provided by Abington Township, Inc. and sanitary sewer conveyance and treatment by Abington Township Waste Water Treatment Plant.
- Soils on this site have been identified by the United States Department of Agriculture National Resources Conservation Service Web Soil Survey for Montgomery County, PA, Version 11, dated October 4, 2017. All soils on this site have been identified as "Udud" Urban land/development complex, 8-20 percent slopes.
- During all phases of construction, the General Contractor shall be responsible for providing pedestrian and vehicular barriers to provide for pedestrian safety and security.

DEMOLITION NOTES:

- Contractor shall visit site prior to bid and investigate items requiring demolition to determine the extent of work required and note generally on the plan.
- Structures are noted generally on the plan. All concrete, light, signs, trees, stormwater piping, etc. and miscellaneous items require demolition and shall be removed on the subject site and removed. All structural material and other (such as) steel and concrete are to be removed. Signs and other items shall be removed and disposed of in accordance with applicable codes. The Contractor shall properly remove and dispose of hazardous materials in accordance with applicable codes.
- The General Site Contractor shall be responsible for the coordination of interrupted utility removal if necessary, including ELECTRIC, TELEPHONE, GAS, AND WATER lines between the Owner and the utility companies. All utilities and services, including but not limited to gas, water, electric, telephone, cable, fiber optic, etc., shall be located by the utility companies and marked before the Contractor starts site and underground utility location system to locate and mark utilities.
- Charles E. Shoemaker, Inc. assumes no responsibility for the information shown or not shown regarding underground storage tanks and environmental issues.
- Site materials which are removed through demolition such as blowdown group shall be stored or disposed of in accordance with the Department of Environmental Protection Solid Waste Management Regulations per 25 Pa Code 2601 et seq., 2711 et seq. and 2871 et seq. The contractor shall not legally bury, dump, or discharge any building material or waste at this site.
- The Contractor is responsible to safeguard the site as necessary to perform the demolition work in a manner as to prevent the uncontrolled entry of persons at any time.
- The Demolition Contractor is responsible for all repairs of damage to adjacent lots and to return as a result of his activities.

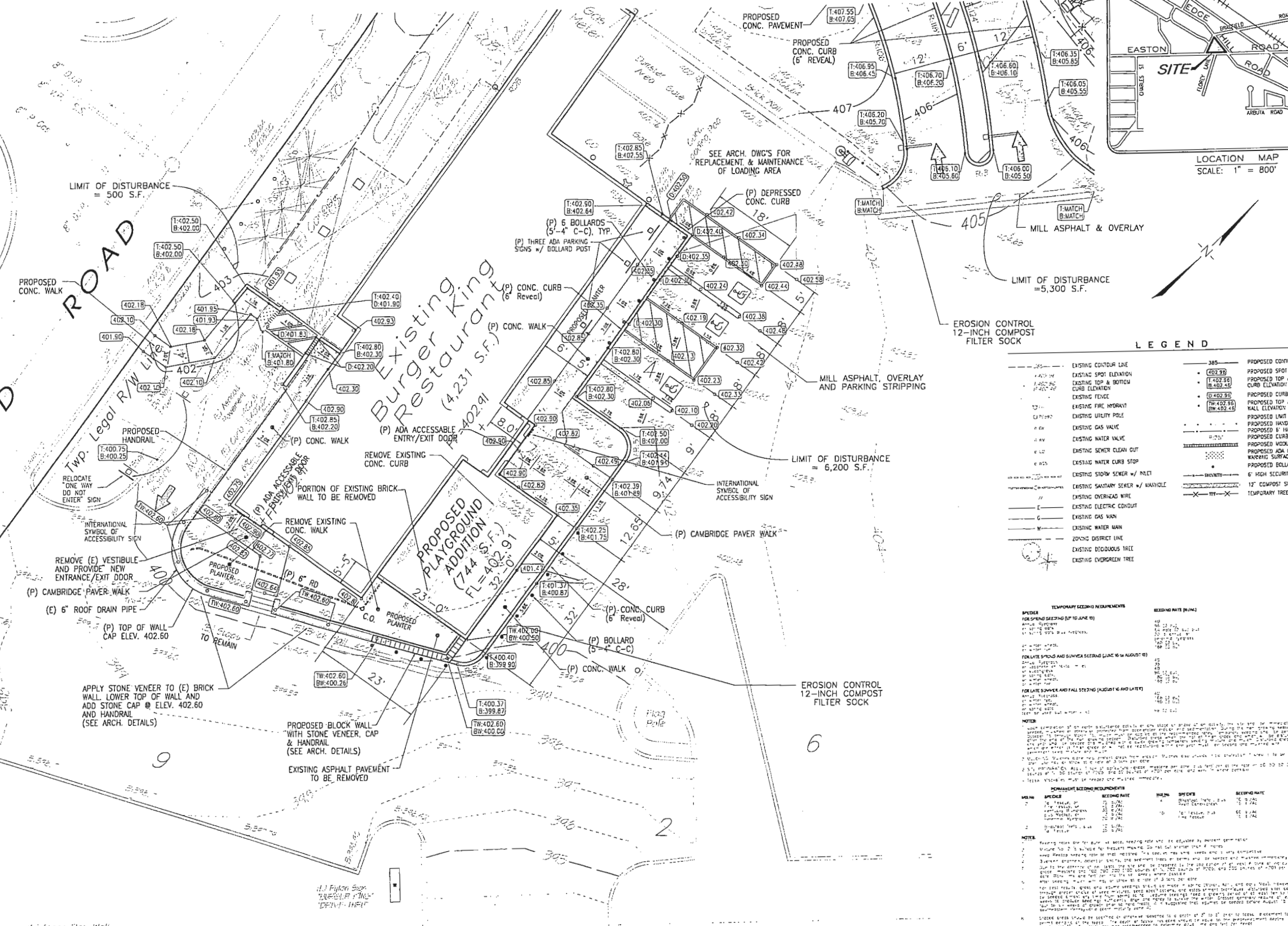
PROPOSED EARTH DISTURBANCE = 0.25 ACRES
SITE AREA
 AREA TO THE TITLE LINES
 67,068 SF or 1.5397 Acres

R=15.50'
 A=33.67'
 T=29.46'



BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-492-1276 FOR SERVICE. PENNSYLVANIA ONE CALL SYSTEM, INC. 1100 EAST 17TH AVENUE, SUITE 200, PITTSBURGH, PA 15201. SERIAL NO. 20171150683

BRADFIELD ROAD
 Tmp. Legal R/W Line
 PROPOSED CONC. WALK
 LIMIT OF DISTURBANCE = 500 S.F.



LEGEND

---	EXISTING CONTOUR LINE	---	PROPOSED CONTOUR LINE
---	EXISTING SPOT ELEVATION	---	PROPOSED SPOT ELEVATION
---	EXISTING TOP & BOTTOM CURB ELEVATION	---	PROPOSED TOP & BOTTOM CURB ELEVATION
---	EXISTING FENCE	---	PROPOSED CURB DEPRESSION ELEVATION
---	EXISTING FIRE HYDRANT	---	PROPOSED TOP & BOTTOM WALL ELEVATION
---	EXISTING UTILITY POLE	---	PROPOSED LIMIT OF DISTURBANCE
---	EXISTING GAS VALVE	---	PROPOSED 6' HIGH SOLID FENCE
---	EXISTING WATER VALVE	---	PROPOSED CURB RADIUS
---	EXISTING SEWER CLEAN OUT	---	PROPOSED WOODEN RETAINING WALL
---	EXISTING WATER CURB STOP	---	PROPOSED ADA DETECTABLE WALKING SURFACE
---	EXISTING STORM SEWER W/ INLET	---	PROPOSED BOLLARD
---	EXISTING SANITARY SEWER W/ MANHOLE	---	6" HIGH SECURITY FENCE
---	EXISTING OVERHEAD WIRE	---	12" COMPOST SILT SOCK
---	EXISTING ELECTRIC CONDUIT	---	TEMPORARY TREE PROTECTION FENCE
---	EXISTING GAS MAIN		
---	EXISTING WATER MAIN		
---	ZONING DISTRICT LINE		
---	EXISTING DECIDUOUS TREE		
---	EXISTING EVERGREEN TREE		

TEMPORARY SEEDING REQUIREMENTS

SEEDER	SEEDING RATE (LBS/1000 S.F.)	SEEDING RATE (LBS/1000 S.F.)
FOR OPENING SEEDING (UP TO JUNE 01)	40	40
FOR LATE SPRING AND SUMMER SEEDING (JULY 01 TO AUGUST 31)	40	40
FOR LATE SUMMER AND FALL SEEDING (SEPTEMBER 01 AND LATER)	40	40

NOTES:
 1. All construction shall be in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.01.
 2. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.02.
 3. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.03.
 4. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.04.
 5. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.05.
 6. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.06.
 7. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.07.
 8. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.08.
 9. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.09.
 10. All work shall be done in accordance with the provisions of the Pennsylvania Department of Transportation's (PennDOT) Standard Specifications for Construction of Highways, 2005 Edition, Section 710.01-02.10.

N43°00'00" E
 EASTON ROAD (COUNTY HIGHWAY)

RICHARD A. STONEBACK
 PROFESSIONAL ENGINEER
 LICENSE NO. 1001763
 1007 EDGE HILL ROAD
 ABINGTOWN, PA 19001
 PHONE: 610-887-2105
 FAX: 610-887-2105
 E-MAIL: rstoneback@earthlink.net

OWNER OF RECORD
 GENERAL AUTO OUTLET, L.P.
 C/O GOODWILL PROPERTIES
 6316 GOODWILL ROAD
 JENKINTOWN, PA 19046

CHARLES E. SHOEMAKER, INC.
 ENGINEERS & SURVEYORS
 1007 EDGE HILL ROAD
 ABINGTOWN, PA 19001
 PHONE: 610-887-2105
 FAX: 610-887-2105
 E-MAIL: ceshoemaker@earthlink.net

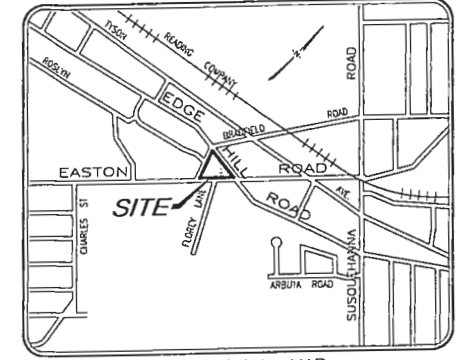
DATE	NO.	REVISION
5/08/2018	1	REVISION
3/28/2018	2	REVISION
3/28/2018	3	REVISION

PLAYGROUND ADDITION PLAN
 900 EASTON ROAD
 ABINGTOWN TOWNSHIP, BERKSHIRE COUNTY, PA.
 FAMILY DINING, INC.
 1780 SWEDEB ROAD
 BLUE BELL, PA 19422

DATE: NOVEMBER 7, 2017
 DWG NO.: A-B-771
 JOB NO.: 24830
 SHEET NO.: 4 of 6



811
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
FOR A LIST OF PARTICIPATING UTILITIES
CALL 1-800-242-1776
SERIAL No. 2017150683



TAX PARCEL NO. 30-00-13852-00-5
BLOCK / LOT 1537 / 031
BILL ADDRESS 500 EASTON ROAD ROSLYN, PA. 19001
DEED BOOK - PAGE 6042-07892

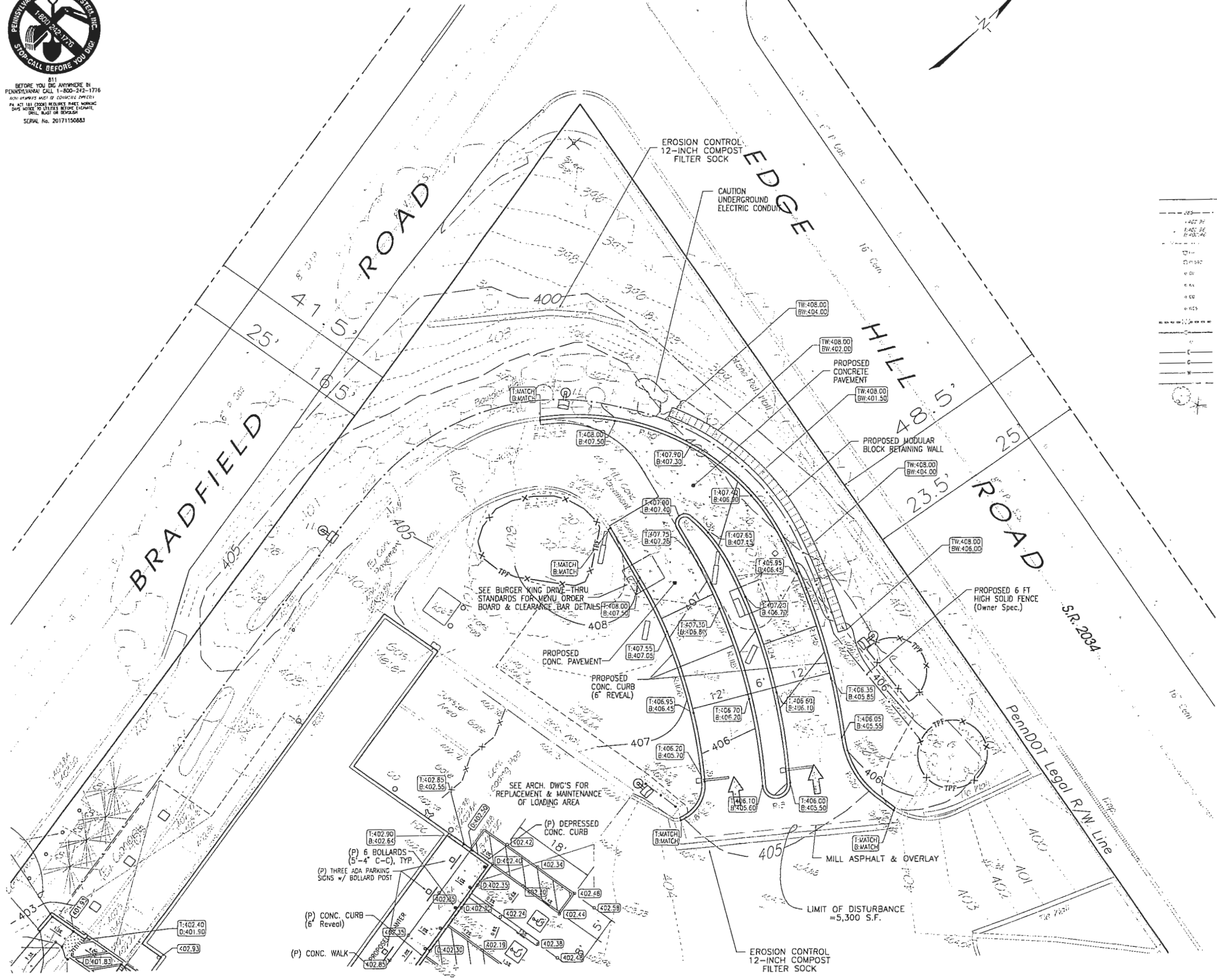
OWNER OF RECORD GENERAL AUTO OUTLET, L.P.
C/O ROBERTS ENTERPRISES
635 COOKMAN ROAD, SUITE 200 JENKINTOWN, PA. 19046

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABBINGTON, PA. 19001
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: info@ceshoemaker.com

DATE	NO.	REVISION	BY
5/28/2018	1	BUILDING EXTERIOR DETAILS	DAT
5/28/2018	2	ADDITION TOWNSHIP SUBMISSION	DAT

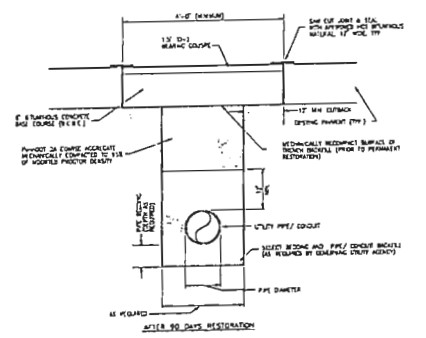
TWO LANE DRIVE-THRU PLAN
900 EASTON ROAD
ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for
FAMILY DINING, INC.
1780 SWEETED ROAD
BLUE BELL, PA. 19422

DATE NOVEMBER 7, 2017
DWG NO. A-B-772
JOB NO. 24830
SHEET NO. 5 of 6

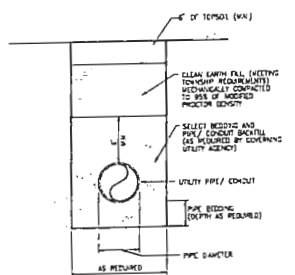


LEGEND

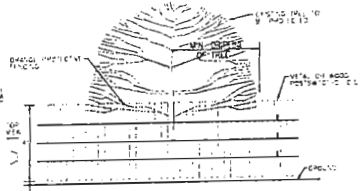
--- 385 ---	EXISTING CONTOUR LINE	--- 385 ---	PROPOSED CONTOUR LINE
--- 402.75 ---	EXISTING SPOT ELEVATION	• 402.95	PROPOSED SPOT ELEVATION
--- 402.50 ---	EXISTING TOP & BOTTOM CURB ELEVATION	• T-402.90	PROPOSED TOP & BOTTOM CURB ELEVATION
--- 402.40 ---	EXISTING FENCE	• B-402.45	PROPOSED TOP & BOTTOM CURB ELEVATION
--- 402.30 ---	EXISTING FIRE HYDRANT	• 0.402.90	PROPOSED CURB DEPRESSION ELEVATION
--- 402.20 ---	EXISTING UTILITY POLE	• TW-402.90	PROPOSED TOP & BOTTOM WALL ELEVATION
--- 402.10 ---	EXISTING GAS VALVE	• TW-402.45	PROPOSED CURB DEPRESSION ELEVATION
--- 402.00 ---	EXISTING WATER VALVE	--- 402.90 ---	PROPOSED LIMIT OF DISTURBANCE
--- 401.90 ---	EXISTING SEWER CLEAN OUT	--- 402.90 ---	PROPOSED HANDRAIL
--- 401.80 ---	EXISTING WATER CURB STOP	--- 402.90 ---	PROPOSED 6' HIGH SOLID FENCE
--- 401.70 ---	EXISTING STORM SEWER W/ W/LET	--- 402.90 ---	PROPOSED CURB RADIUS
--- 401.60 ---	EXISTING SANITARY SEWER W/ MANHOLE	--- 402.90 ---	PROPOSED MODULAR RETAINING WALL
--- 401.50 ---	EXISTING OVERHEAD WIRE	--- 402.90 ---	PROPOSED ADA DETECTABLE WARNING SURFACE
--- 401.40 ---	EXISTING ELECTRIC CONDUIT	--- 402.90 ---	PROPOSED ISLAND
--- 401.30 ---	EXISTING GAS MAIN	--- 402.90 ---	6' HIGH SECURITY FENCE
--- 401.20 ---	EXISTING WATER MAIN	--- 402.90 ---	12' COMPOST SAT SOCK
--- 401.10 ---	ZONING DISTRICT LINE	--- 402.90 ---	TEMPORARY TREE PROTECTION FENCE
--- 401.00 ---	EXISTING DECIDUOUS TREE		
--- 400.90 ---	EXISTING EVERGREEN TREE		



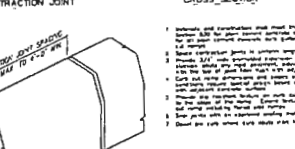
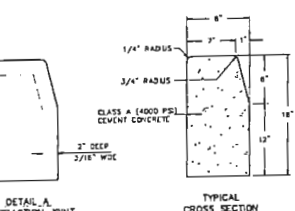
TYPICAL TRENCH RESTORATION DETAIL (FOR PAVED AREAS)



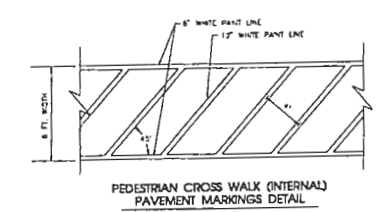
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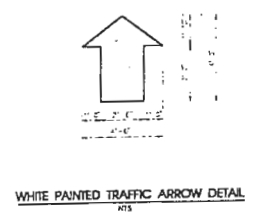
TREE PROTECTION FENCE DETAIL



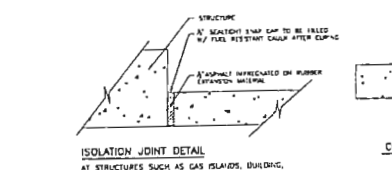
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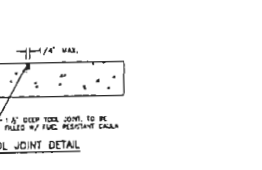
PEDESTRIAN CROSS WALK (INTERNAL) PAVEMENT MARKINGS DETAIL



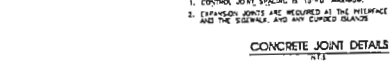
WHITE PAINTED TRAFFIC ARROW DETAIL



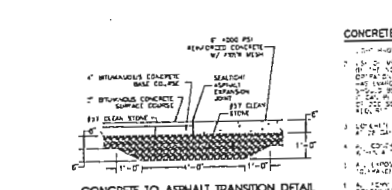
ISOLATION JOINT DETAIL



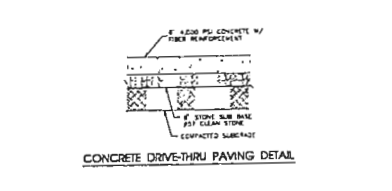
CONTROL JOINT DETAIL



CONCRETE JOINT DETAILS



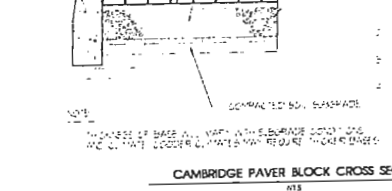
CONCRETE TO ASPHALT TRANSITION DETAIL



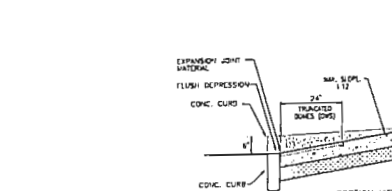
CONCRETE DRIVE-THRU PAVING DETAIL



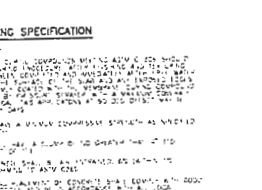
CAMBRIDGE PAVER BLOCK CROSS SECTION



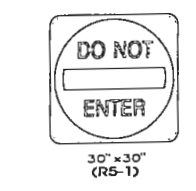
CONCRETE CURB DEPRESSION FOR SIDEWALK RAMP



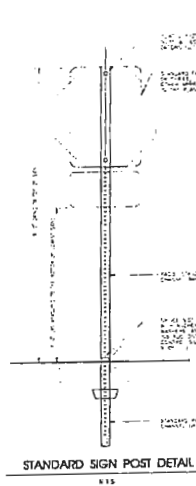
FLUSH ADA DEPRESSION CONCRETE CURB DETAIL



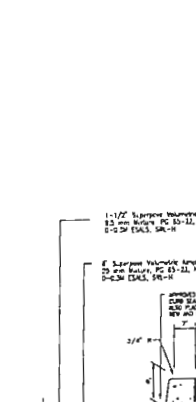
CONCRETE PAVING SPECIFICATION



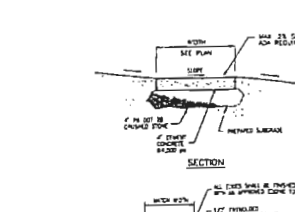
'DO NOT ENTER' SIGN



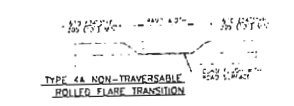
STANDARD SIGN POST DETAIL



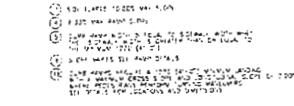
TYPICAL SITE ASPHALT PAVEMENT CONCRETE CURB AND CONCRETE WALK SECTION



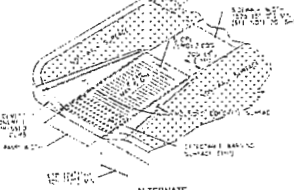
CONCRETE WALK DETAIL



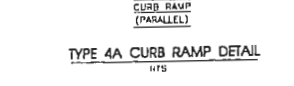
TYPE 4A NON-TRAVERSABLE ROLLER FLARE TRANSITION



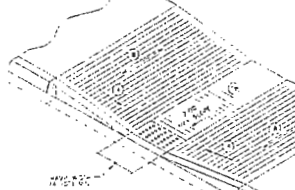
TYPE 2 ELEVATION



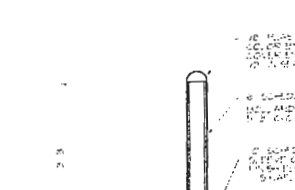
ALTERNATE CURB RAMP (PARALLEL)



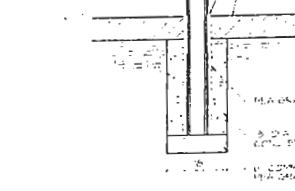
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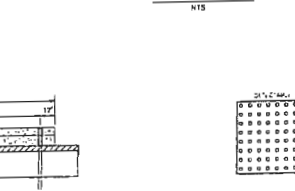
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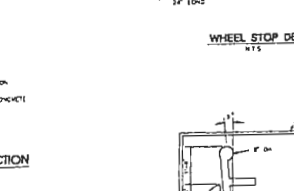
BOLLARD DETAIL



WHEEL STOP DETAIL



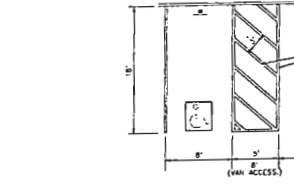
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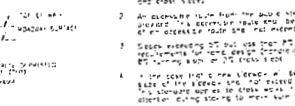
HANDICAP WHEELCHAIR SYMBOL



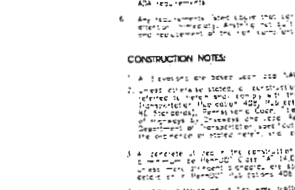
HANDICAP PARKING SPACE MARKINGS



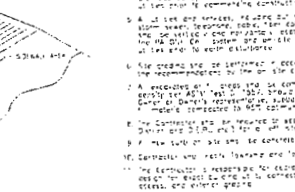
HANDICAP PARKING SPACE MARKINGS



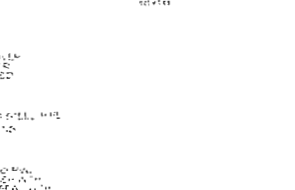
COMPOST FILTER SOCK DETAIL



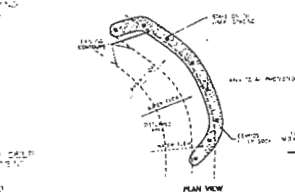
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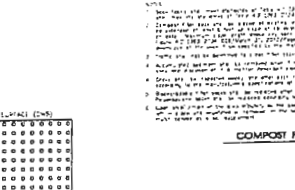
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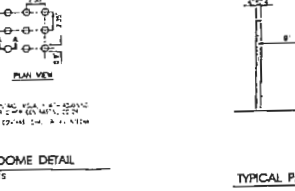
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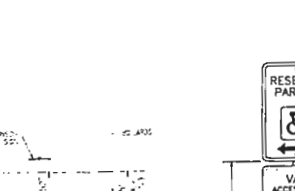
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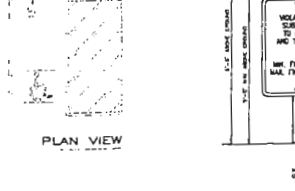
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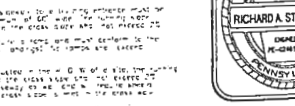
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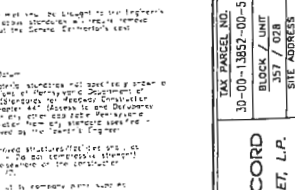
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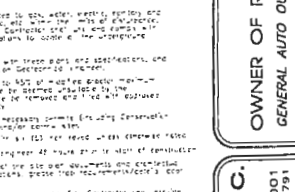
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RESERVED PARKING SPACE w/ PENALTIES & VAN ACCESSIBLE SIGNS



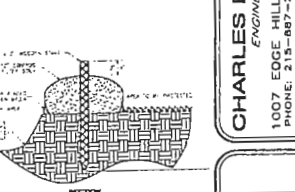
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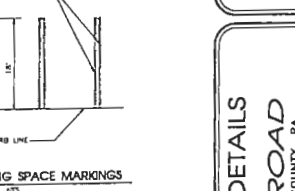
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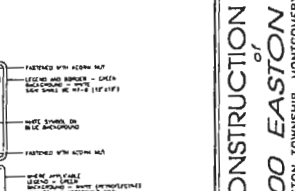
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RESERVED PARKING SPACE w/ PENALTIES & VAN ACCESSIBLE SIGNS



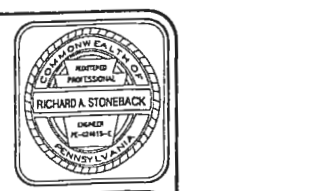
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RESERVED PARKING SPACE w/ PENALTIES & VAN ACCESSIBLE SIGNS



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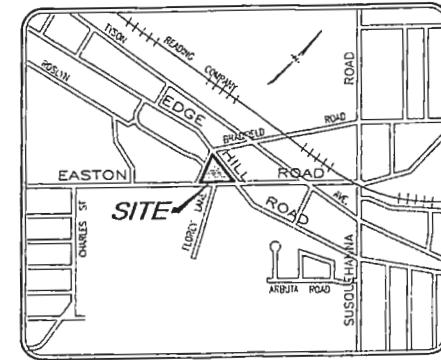
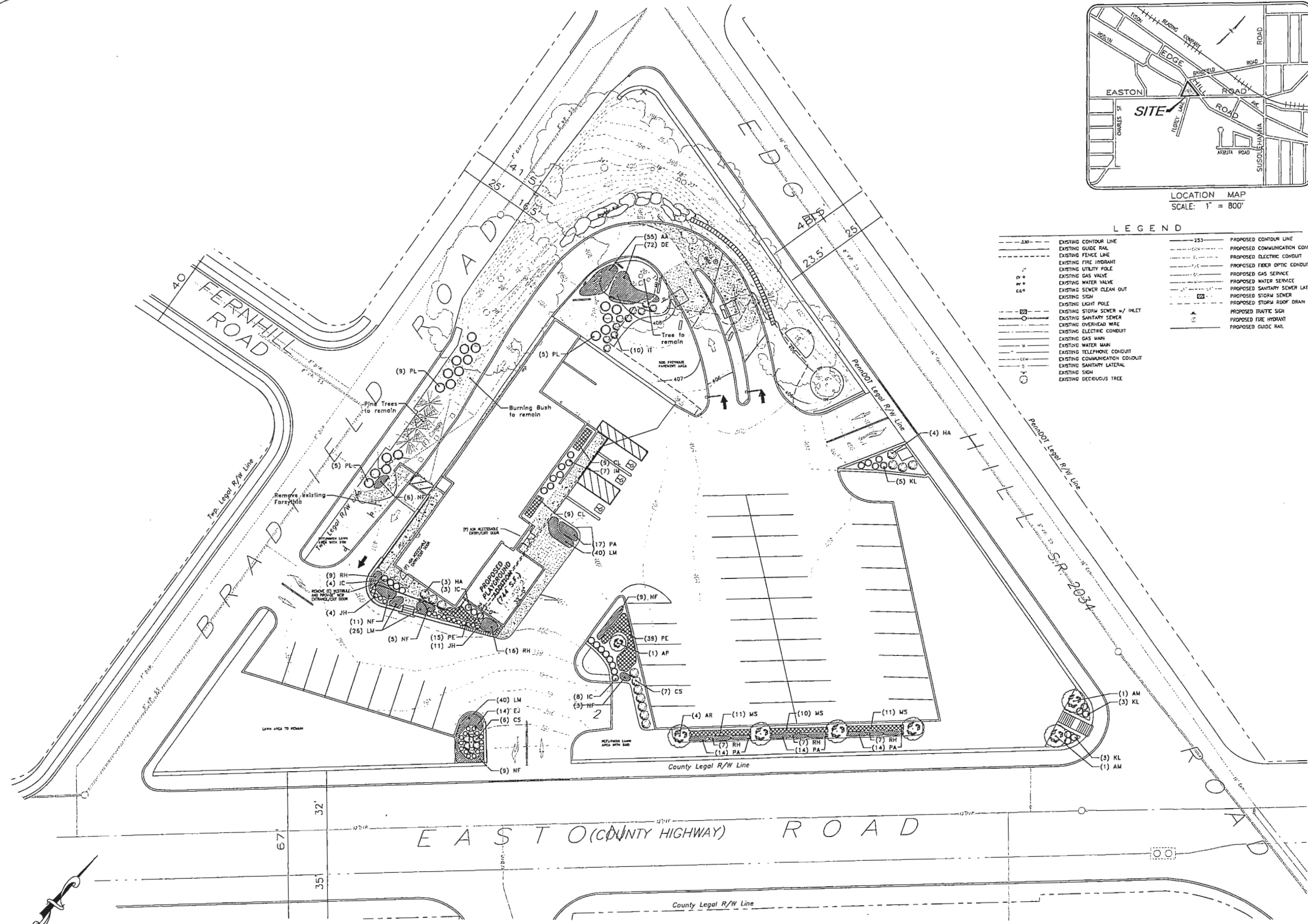
TAX PAYER NO. 30-001-1852-00-5
BLOCK / UNIT 357 / 07B
SITE ADDRESS 900 EASTON ROAD, ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PA. 19001
OWNER OF RECORD GENERAL AUTO OUTLET, L.P.
C/O COCCMAN PROPERTIES
636 OLD YORK ROAD, 2ND FL. JENKINTOWN, PA 19046
SCALE: AS NOTED

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
1007 EDGE HILL ROAD ABBINGTON, PA. 19001
PHONE 215-887-1415 FAX 215-887-7791
E-MAIL: charles@eshoemaker.com

DATE	NO.	REVISION	BY
9/26/2018	1	REVISION LONGSHOR CURBSIDE	CAT
3/7/2018	1	CHANGED CURB DETAIL	CAT

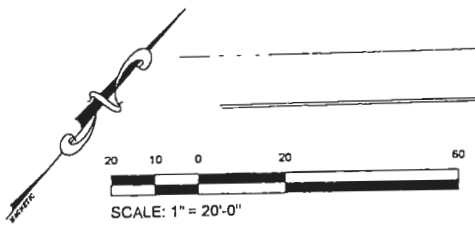
CONSTRUCTION DETAILS
900 EASTON ROAD
ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PA.
Prepared for
FAMILY DINING, INC.
11780 SWEETWOOD ROAD
BLUE BELT, PA. 19022

DATE NOVEMBER 7, 2017
DWG NO. A-8-773
JOB NO. 24830
SHEET NO. 6 of 6



LEGEND

--- 250 ---	EXISTING CONTOUR LINE	---	PROPOSED CONTOUR LINE
---	EXISTING GUIDE RAIL	---	PROPOSED COMMUNICATION CONDUIT
---	EXISTING FENCE LINE	---	PROPOSED ELECTRIC CONDUIT
---	EXISTING FIRE INGRANT	---	PROPOSED FIBER OPTIC CONDUIT
---	EXISTING UTILITY POLE	---	PROPOSED GAS SERVICE
---	EXISTING GAS VALVE	---	PROPOSED WATER SERVICE
---	EXISTING WATER VALVE	---	PROPOSED SANITARY SEWER LATERAL
---	EXISTING SEWER CLEAN OUT	---	PROPOSED STORM SEWER
---	EXISTING SIGN	---	PROPOSED STORM ROOF DRAIN
---	EXISTING LIGHT POLE	---	PROPOSED TRAFFIC SIGN
---	EXISTING STORM SEWER w/ INLET	---	PROPOSED FIRE HYDRANT
---	EXISTING SANITARY SEWER	---	PROPOSED GUIDE RAIL
---	EXISTING OVERHEAD WIRE	---	
---	EXISTING ELECTRIC CONDUIT		
---	EXISTING GAS MAIN		
---	EXISTING WATER MAIN		
---	EXISTING TELEPHONE CONDUIT		
---	EXISTING COMMUNICATION CONDUIT		
---	EXISTING SANITARY LATERAL		
---	EXISTING SIGN		
---	EXISTING DECIDUOUS TREE		



LANDSCAPE PLAN
See Sheet LP-2 for Plant Schedule and Details

General Notes



Landscape Plan

No.	Revision/Issue	Date

Firm Name and Address

InFocus Planning
EFFECTIVE EFFICIENT
LANDSCAPE ARCHITECTURE

7715 CRITTENDEN STREET #343
PHILADELPHIA, PA 19119
P: 267-336-7411 F: 267-775-5215
www.infocusplanning.com

Project Name and Address

BURGER KING
900 EASTON ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PA

Project InFocus_18-34	Sheet LP-1
Date 5/8/18	
Scale As Noted	

Plan Symbol	Quantity	Botanical Name	Common Name	Min. Planting Spread	Min. Planting Height	Remarks	Comments
AM	2	<i>Ampelocera grandiflora</i> <i>Var. glabra</i>	Autumn Brilliance Serviceberry	-	6-8'	B&B	Multi-stem, min. 5 stems
AP	1	<i>Acer palmatum</i> var. <i>dissectum</i> <i>Glenn Dale</i>	Glenn Dale Japanese Maple	4'	3'	B&B/CONT	Specimen tree
AR	4	<i>Acer rubrum</i> 'Bowling'	Bowling Red Maple	-	10-12'	B&B	Symmetrical branching
CS	13	<i>Cornus sericea</i>	Red Twig Dogwood	-	18-24'	CONT	Heavy, full specimen
EJ	14	<i>Eurotia japonica</i> <i>Microphyllum variegatum</i>	Variegated Bottlebrush	-	12'	CONT	Heavy, full specimen
HA	1	<i>Hydrangea arborescens</i> 'Annabelle'	'Annabelle' Hydrangea	-	18-24'	CONT	Heavy, full specimen
IC	15	<i>Ilex crenata</i> 'Soft Touch'	Soft Touch Compact Holly	-	12-18'	CONT	Heavy, full specimen
IM	7	<i>Ilex verticillata</i> 'Blue Girl'	'Blue Girl' Holly	-	12-18'	CONT	Heavy, full specimen
IT	10	<i>Itea virginica</i> 'Little Henry'	'Little Henry' Sweetgum	-	18-24'	CONT	Heavy, full specimen
JH	15	<i>Juniperus horizontalis</i> 'Bar Harbor'	'Bar Harbor' Juniper	-	22-28'	CONT	Heavy, full specimen
KL	11	<i>Kalmia latifolia</i> 'Dorset'	'Dorset' Kalmia Laurel	-	12-15'	CONT	Heavy, full specimen
PL	10	<i>Prunus laurocerasus</i>	English Laurel	-	24-30'	B&B/CONT	Heavy, full specimen
AA	55	<i>Astilbe a-streata</i> 'Reichardt'	'Reichardt' Astilbe	-	-	1 gal.	Plant 18" on center
DF	72	<i>Dryopteris erythrosperma</i> 'Brilliance'	'Brilliance' Autumn Fern	-	-	1 gal.	Plant 18" on center
LM	106	<i>Liriodendron tulipifera</i>	'Liriodendron'	-	-	1 gal.	Plant 15" on center
WF	43	<i>Wisteria floribunda</i> 'Walker's Low'	'Walker's Low' Wisteria	-	-	1 gal.	Plant 24" on center
PA	58	<i>Prunella angustifolia</i> 'Little Spire'	'Little Spire' Russian Sage	-	-	1 gal.	Plant 18" on center
PH	46	<i>Phlox paniculata</i>	Black-eyed Susan	-	-	1 gal.	Plant 18" on center
CL	18	<i>Calamagrostis canadensis</i> 'Karl Foerster'	'Karl Foerster' Fountain Grass	-	-	1 gal.	Plant 24" on center
AS	32	<i>Andropogon scoparius</i> 'Adagio'	'Adagio' Bluestem Grass	-	-	1 gal.	Plant 24" on center
PE	54	<i>Pennisetum alopecuroides</i> 'Little Bunny'	'Little Bunny' Dwarf Fountain Grass	-	-	1 gal.	Plant 24" on center

** Plant in continuous mulch bed (2-3" depth) until fully established.

GENERAL LANDSCAPE NOTES

- Plant material shall be furnished and installed on indicated including all labor, materials, plants, equipment, incidental and clean up.
- The contractor shall be responsible for planting at correct grades and alignments.
- Plants shall be typical of their species and variety; have normal growth habits; well developed branches; dense foliage; vigorous root systems; and be free from defects and injuries.
- Contractor shall report any soil or drainage conditions considered detrimental to the growth of the plant material.
- In so far as it is practicable, plant materials shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unwatered for longer than a three (3) day period after delivery.
- All plant material shall meet the standards of the "American Standards for Nursery Stock" by the American Nursery and Landscape Association (2004), or most recent edition, and the height spread and/or caliper requirements for trees and shrubs listed in Plymouth Township SLD0 Appendix C, Acceptable Plant List. All plant material shall be installed in accordance with the planting practices stated in Chapter 3 of "Tree Maintenance" by P.P. Pines, most recent edition.
- All plants shall be planted in topsoil that is thoroughly watered and tamped as backfilling progresses. Nothing but suitable topsoil; free of soil, stiff clay, silt, etc., shall be used for planting.
- Planting operations shall be performed during periods within the planting season when the weather and soil conditions are suitable and in accordance with the accepted local practice.
- Landscape contractor shall verify all locations of all utilities prior to placement of landscape material. Contractor shall not place landscape material atop any stormwater or utility structure.
- If a plant species or other substitution is made without receiving prior submission request approval from the Township, the unapproved plants will be rejected upon inspection. All plant substitution requests should be submitted in writing for review.
- Before mulch is installed, apply pre-emergence weed killer and incorporate into soil according to manufacturer's directions.
- No landscape planting including trees & shrubs are permitted within utility easements.
- Street trees, screen buffers, softening buffers and other required plant material shall be planted prior to the issuance of a use and occupancy permit. In lieu of planting one to seasonal conifers, the locations of street trees shall be staked and the developer shall be required to submit to the Township a memorandum signed by the purchaser and acknowledge that the stakes indicate the locations of trees to be planted and that the trees will be planted by the developer.
- The Township reserves the right to require additional landscape buffer plantings, following substantial completion of construction, should vegetation to be preserved not be preserved or not otherwise be as represented on the Final Landscape Plan.
- Any substantial changes to the approved Landscape Plan must be approved by the Township through plan resubmission. If substantial changes to the landscaping are made without prior approval from the Township, the changes will be rejected upon inspection.
- All plant material shall be guaranteed for 18 months from the day of final approval of the landscape installation by the Township. Any plant material 25% or more of which is dead shall be considered dead. A tree shall be considered dead when the main leader has died or 25% of the crown is dead. Any dead plant material shall be replaced and installed according to the approved planting practices.
- The Applicant shall contact the Township in writing to request a final inspection for acceptance at the end of the guarantee period. These inspections will be performed when plant materials are in full leaf only (May 1 through November 15). All guarantee escrow funds will be released upon acceptance at the end of the guarantee period.
- Landscape installation will occur in accordance with the Landscape Plan during individual lot development.
- Final street tree placement shall be determined at the time of building permit application. Trees shall be located no closer than one foot outside of the ultimate right-of-way.

General Notes



Landscape Details

No.	Revision/Issue	Date
-----	----------------	------

Firm Name and Address

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EFFECTIVE. EFFICIENT.

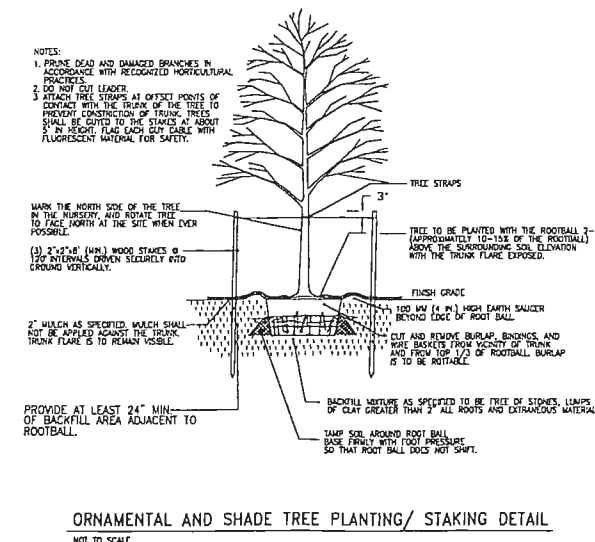
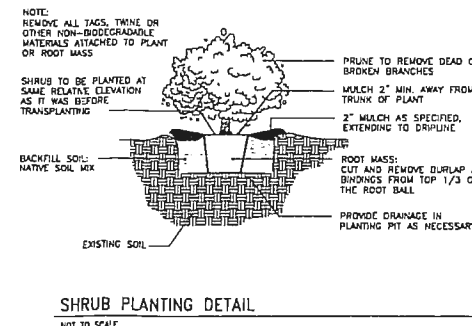
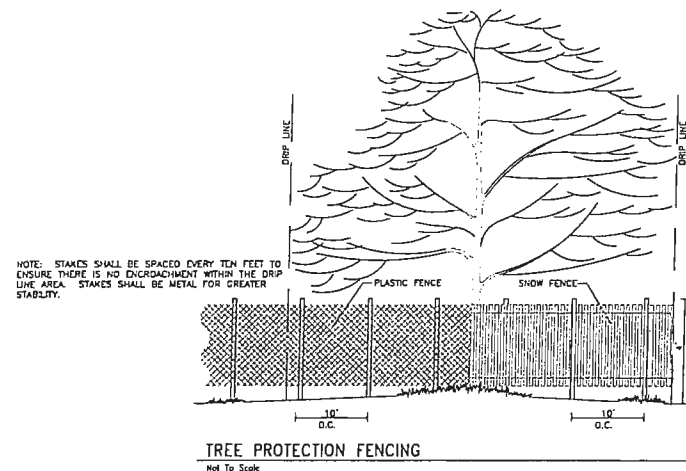
7715 CRITTENDEN STREET #343
PHILADELPHIA, PA 19119
P: 267-326-7411 F: 267-775-5315
www.infocusplanning.com

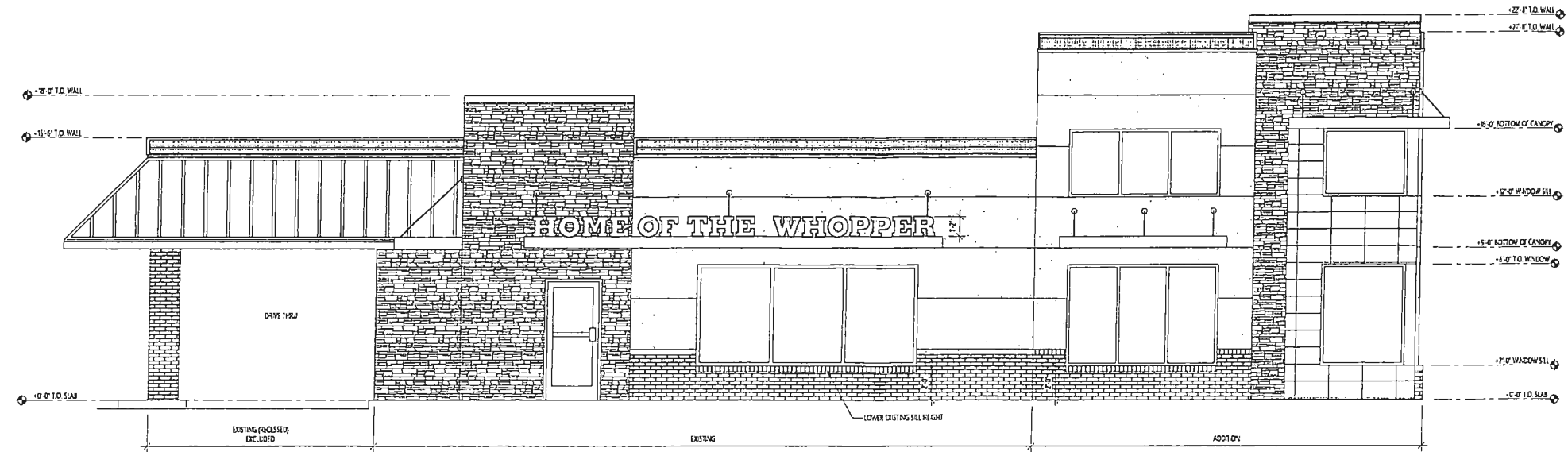
Project Name and Address

BURGER KING
900 EASTON ROAD
ABINGTON TOWNSHIP
MONTGOMERY COUNTY, PA

Project: InFocus_18-34
Date: 5/8/18
Scale: As Noted

Sheet: LP-2





1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

STREET-FACING FACADE	
EXISTING	FACADE HEIGHT 15'-4" (2ND)
	GROUND FLOOR WINDOW AREA 38% (2% - MINUSIVE FROM 15.8%)
ADDITION	FACADE HEIGHT 77' 8" (20'-0" MINIMUM REQUIRED)
	WINDOW HEIGHT 35'-4" (2% MINIMUM REQUIRED)
	FACADE ABOVE 12'-0" 22% (23% MINIMUM REQUIRED)

BURGER KING
RESTAURANT #****
RENOVATION OF EXISTING RESTAURANT
ADDRESS



3515 Sunnyside Road
Center Valley, PA 18034
T: 610-297-0140
E: sam@scf-arch.com

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EXTERIOR
ELEVATIONS
A3.1