

SUMMARY

- TAX PARCEL - BLOCK 88, UNIT 24 (P/N 30-00-36264-00-3)
- AREA TO LEGAL R/W LINE - 34,835 SF
ULTIMATE R/W LINE - 34,170 SF
- ZONING - R4, HIGH DENSITY RESIDENTIAL DISTRICT

REQUIRED	PROVIDED LOT No. 1	PROVIDED LOT No. 2	PROVIDED LOT No. 3
a. LOT AREA - 7,500 SF	7,500 SF	8,843 SF	17,826 SF
b. LOT WIDTH - 50'	56.88'	52.96'	50.00'
c. LOT DEPTH - 100'	122.59'	155.84'	189.86'
d. FRONT YARD - 20'	42.26'	20' MIN.	20' MIN.
e. SIDE YARD - 10'	10.00'	10' MIN.	10' MIN.
f. REAR YARD - 25'	38.82'	25' MIN.	25' MIN.
g. BLDG. AREA - 40%	15.9%	40% MAX.	40% MAX.
h. IMP. COV. - 55%	25.8%	55% MAX.	55% MAX.
i. GREEN AREA - 45%	74.2%	45% MIN.	45% MIN.

- THESE DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT & ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. PENNSYLVANIA ACT 187 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWERAGE & WATER LINES BEFORE COMMENCING CONSTRUCTION. (1-800-242-1776)
- 2 OFF-STREET PARKING REQUIRED
SPACES - 2 IN DRIVEWAY
1 IN GARAGE
- OWNER/APPLICANT: POPPER & DEACON, INC.
659 ROBERTS AVENUE
GLENSIDE, PA 19038
- DATUM OF TOPOGRAPHY - U.S.G.S.
- SOILS LIST: UroB - Urban land-Lawrenceville complex, 0 to 8 percent slopes.
- LOTS TO BE CONNECTED TO PUBLIC WATER & SEWER.
- PROPERTY BOUNDARIES DETERMINED FROM FILED SURVEY, PLANS & DEEDS OF RECORD.

ON THE _____ DAY OF _____, A.D. 20____, BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED _____

WHO ACKNOWLEDGED _____ TO BE THE _____ BEING AUTHORIZED TO DO SO, _____ EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT SAID CORPORATION DESIRED THAT THE FOREGOING PLAN BE DULY RECORDED.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____ (SEAL)

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC. AT NORRISTOWN, PA. IN PLAN BOOK _____, PAGE NO. _____, ON _____, BY _____

MPFC No. _____

PROCESSED and REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____ For the Director
Montgomery County Planning Commission

ACT 187 USERS LIST

USER	ADDRESS	TELEPHONE
1. TOWNSHIP OF ABBINGTON	1178 OLD YORK RD. ABBINGTON, PA. 19001	215-684-5000
2. AQUA PENNSYLVANIA, INC.	765 LANCASTER AVE. BRYN MAWR, PA. 19010	1-800-711-4779
3. BELL TELEPHONE CO. OF PA.	104 WITMER RD. HORSHAM, PA. 19044	215-956-2623
4. PHILADELPHIA ELECTRIC CO.	400 PARK AVE. WARMINSTER, PA. 18974	OUTSIDE PA. 412-323-7100 IN PA. 800-242-1776
5. PENNA. DEPT. OF TRANSPORTATION	EAST NORRISTOWN TWP. P.O. BOX 350 NORRISTOWN, PA.	1-215-275-2368

STOP-CALL BEFORE YOU DIG!



PENNSYLVANIA ONE CALL SYSTEM, INC.
SERIAL No. 20170181762

LEGEND

—	FLOW ARROW
+	PROPOSED SPOT ELEVATION
•	EXISTING SPOT ELEVATION
—	PROPOSED CONVEYER
—	EXISTING CONVEYER
—	PROPOSED HOVEMENT
—	EXISTING HOVEMENT
—	PROPOSED MONUMENT
—	EXISTING MONUMENT
—	PROPOSED FENCE
—	EXISTING FENCE
—	CONCRETE CURB
—	EXISTING WATERLINE
—	EXISTING SANITARY LATERAL
—	EXISTING STORM SEWER
—	EXISTING MANHOLE
—	EXISTING SANITARY LATERAL
—	CONCRETE SIDEWALK OR PAD
—	EDGE OF PAVING
—	PROPOSED WATER SERVICE
—	PROPOSED SANITARY LATERAL
—	12" BILT FENCE
—	TREE PROTECTION FENCE

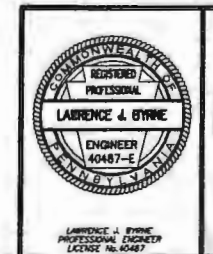


APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABBINGTON THIS _____ DAY OF _____, 20____

PRESIDENT

SECRETARY

ENGINEER



PLAN OF SUBDIVISION
1768 KIMBALL AVENUE
ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
MADE FOR
POPPER & DEACON, INC.

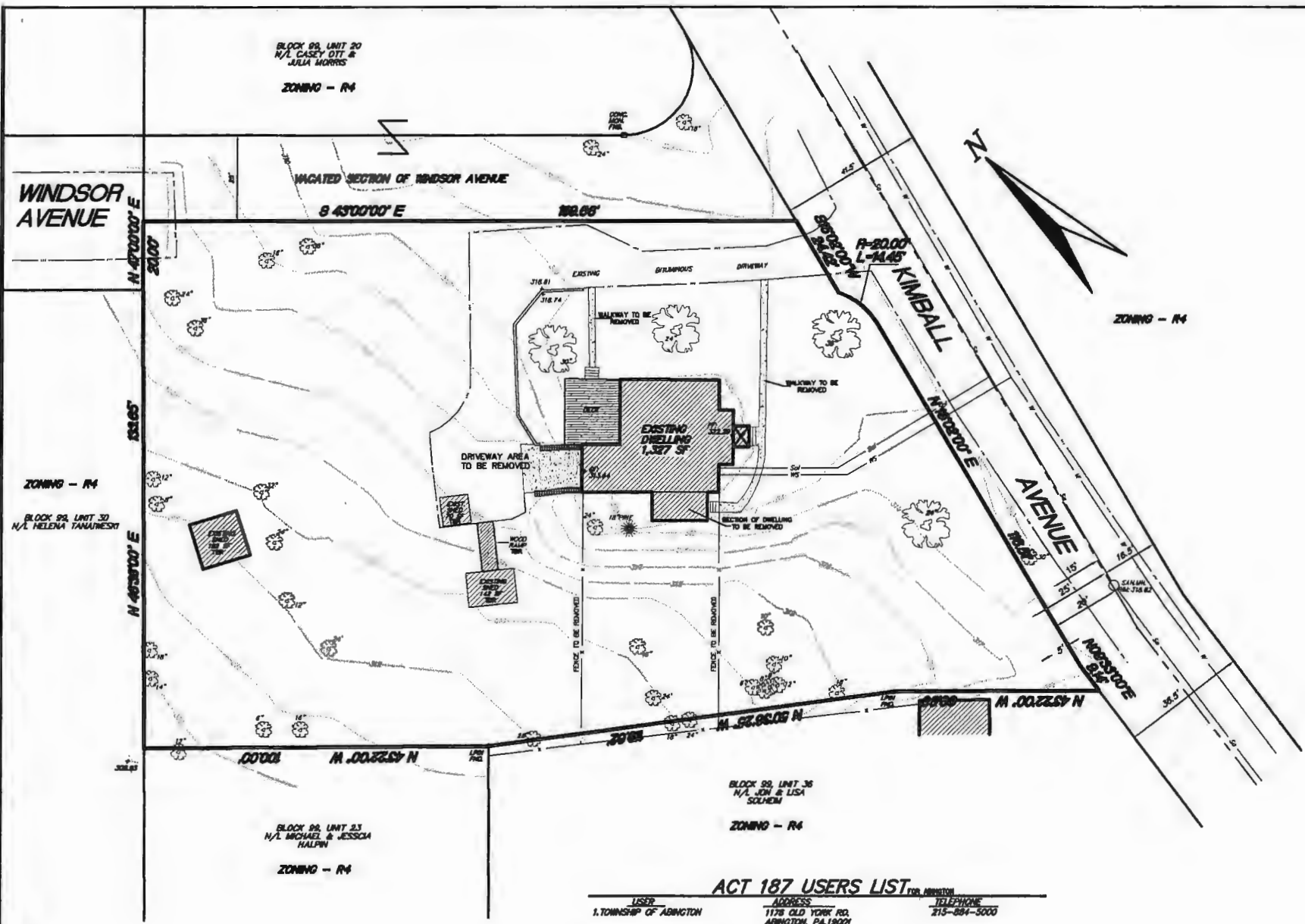
SCALE: 1"=20' 0 20 40 60 29 MARCH 2018

EASTERN/CHADROW ASSOCIATES, INC.
333 E. STREET ROAD • WARMINSTER, PA. 18974 • (215) 672-8871 FAX (215) 672-8765 EST. 1967

SHEET 1 of 4

SHEET INDEX

- PLAN OF SUBDIVISION
- EXISTING FEATURES PLAN
- GRADING, EROSION & SEDIMENTATION CONTROL PLAN
- EROSION & SEDIMENTATION CONTROL DETAILS
SITE CONSTRUCTION DETAILS



ACT 187 USERS LIST

USER	ADDRESS	TELEPHONE
1. TOWNSHIP OF ABBINGTON	1178 OLD YORK RD. ABBINGTON, PA. 19001	215-864-5000
2. AQUA PENNSYLVANIA, INC.	782 LANCASTER AVE. BRYN MAWR, PA. 19010	1-800-711-4778
3. BELL TELEPHONE CO. OF PA.	104 WITMER RD. HORSHUMP, PA. 19044	215-856-2623
4. PHILADELPHIA ELECTRIC CO.	400 PARK AVE. WARMINSTER PA. 18974	OUTSIDE PA. 412-325-7100 IN PA. 800-242-1778
5. PENNA. DEPT. OF TRANSPORTATION	EAST HOBARTON TWP. P.O. BOX 350 NORRISTOWN, PA.	1-815-275-2388

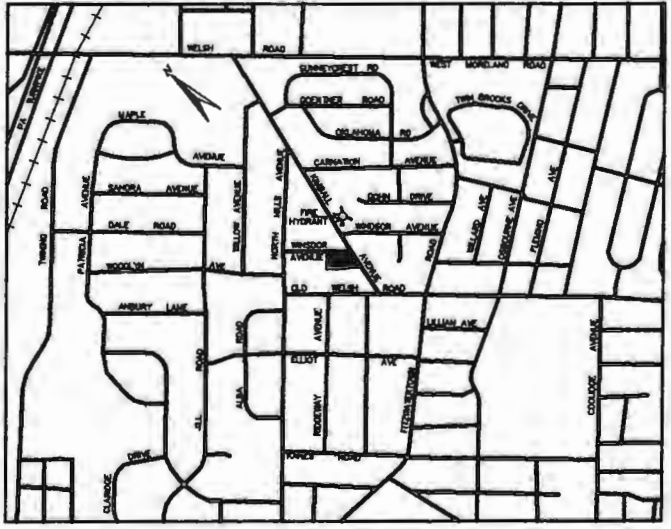
STOP—CALL BEFORE YOU DIG!



PENNSYLVANIA ONE CALL SYSTEM, INC.
SERIAL No. 20170181782

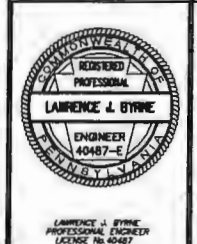
LEGEND

- PROPOSED FLOW AREA
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTROL
- EXISTING CONTROL
- PROPOSED MONUMENT
- EXISTING MONUMENT
- FENCE
- CONCRETE CURB
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING MANHOLE
- EXISTING SANITARY LATERAL
- CONCRETE SIDEWALK OR PAD
- SIDE OF PAVING
- PROPOSED WATER SERVICE
- PROPOSED SANITARY LATERAL
- 1/2" BELT FENCE
- TREE PROTECTION FENCE

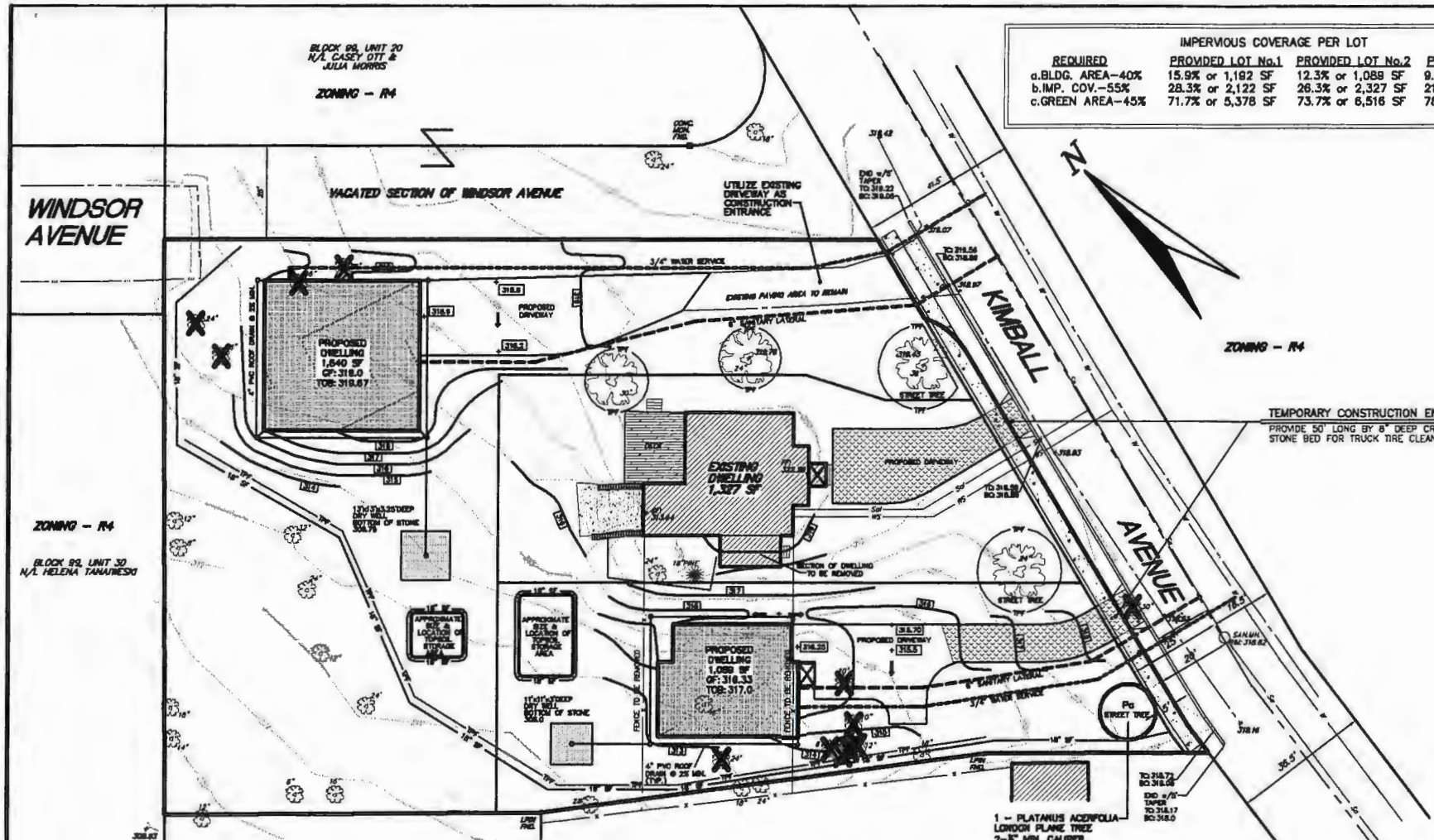


LOCATION MAP
SCALE: 1" = 500'

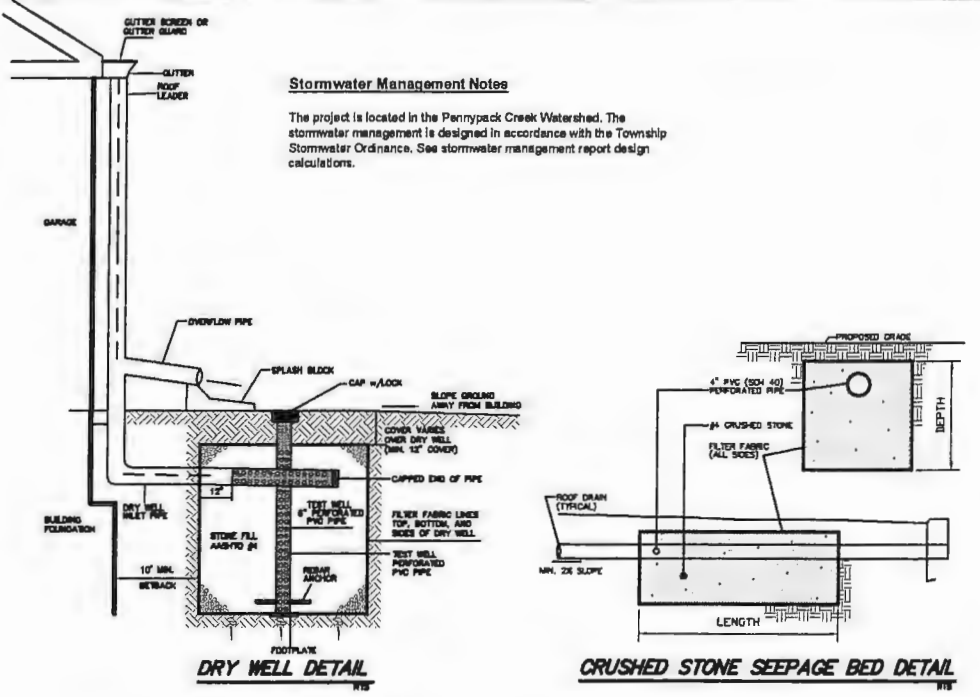
SHEET 2 of 4



EXISTING FEATURES PLAN
1768 KIMBALL AVENUE
 ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
 MADE FOR
POPPER & DEACON, INC.
 SCALE: 1"=20' 0 20 40 60 29 MARCH 2018
EASTERN/CHADROW ASSOCIATES, INC.
 333 S. STREET ROAD • WARMINSTER, PA. 18974 • (215) 674-8811 FAX (215) 672-6785
 EST. 1967



	IMPERVIOUS COVERAGE PER LOT		
REQUIRED	PROVIDED LOT No.1	PROVIDED LOT No.2	PROVIDED LOT No.3
a. BLDG. AREA-40%	15.9% or 1,192 SF	12.3% or 1,089 SF	9.2% or 1,640 SF
b. IMP. COV.-55%	28.3% or 2,122 SF	26.3% or 2,327 SF	21.4% or 3,815 SF
c. GREEN AREA-45%	71.7% or 5,378 SF	73.7% or 6,516 SF	78.6% or 14,011 SF



Stormwater Management Notes
 The project is located in the Pennypack Creek Watershed. The stormwater management is designed in accordance with the Township Stormwater Ordinance. See stormwater management report design calculations.

KEY DESIGN ELEMENTS	RESIDENTIAL- YES
• MAINTAIN MINIMUM DISTANCE FROM BUILDING FOUNDATION (TYPICALLY 10 FEET)	COMMERCIAL: YES ULTRA URBAN: YES INDUSTRIAL: LIMITED RECREATION: YES HIGHWAY/ROAD: NO
• PROVIDE ADEQUATE OVERFLOW OUTLET FOR LARGE STORMS	
• DEPTH OF DRY WELL AGGREGATE SHOULD BE BETWEEN 18 AND 48 INCHES DEEP	
• AT LEAST ONE OBSERVATION WELL; CLEAN OUT IS RECOMMENDED	
• WRAP AGGREGATE WITH NONWOVEN GEOTEXTILE	
• MAXIMUM DRAIN-DOWN TIME IS 72 HOURS	
• PROVIDE PRETREATMENT FOR SOME SITUATIONS	
	STORMWATER FUNCTIONS
	VOLUME REDUCTION: MEDIUM RECHARGE: MEDIUM PEAK RATE CONTROL: MEDIUM WATER QUALITY: MEDIUM
	POLLUTANT REMOVAL
	TSS: 85% TP: 85% NO ₃ : 35%

GENERAL SEEDING & MULCH GUIDELINE PERMANENT SEED MIXTURE- LAWN AREAS

PREPARATION BY WEIGHT	COMMON WEIGHT	PURITY	GERMINATION
1. 100% BIRD SEED	100%	95%	85%
2. 100% BIRD SEED	100%	95%	85%
3. 100% BIRD SEED	100%	95%	85%

TEMPORARY SEED MIXTURE ALTERNATES

PREPARATION BY WEIGHT	COMMON WEIGHT	SEEDING RATE	RECOMMENDED SEEDING DATES
1. 100% BIRD SEED	100%	1.0	MARCH 1 - JUNE 15
2. 100% BIRD SEED	100%	1.0	MARCH 1 - JUNE 15
3. 100% BIRD SEED	100%	1.0	MARCH 1 - JUNE 15

FOR ADDITIONAL SEEDING INFORMATION CONSULT "THE AGRONOMY GUIDE", BY PENNSYLVANIA STATE UNIVERSITY.

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2. AQUA PENNSYLVANIA, INC.	782 LANCASTER AVE. BRYN MAWR, PA. 19010	1-800-711-4770
3. BELL TELEPHONE CO. OF PA.	104 INTWER RD. HORSHAMP, PA. 19044	215-856-2623
4. PHILADELPHIA ELECTRIC CO.	400 PARK AVE. WARMINGSTER, PA. 19074	OUTSIDE PA. 412-323-7100 IN PA. 800-242-1776
5. PENNA. DEPT. OF TRANSPORTATION	EAST HORTON TWP., P.O. BOX 350 HORTON, PA.	1-215-275-2368

STOP-CALL BEFORE YOU DIG!



PENNSYLVANIA ONE CALL SYSTEM, INC.
 SERIAL No. 20170181782

LEGEND

→	FLOW ARROW
○	PROPOSED SPOT ELEVATION
□	EXISTING SPOT ELEVATION
○	PROPOSED CONTOUR
○	EXISTING CONTOUR
○	PROPOSED MONUMENT
○	EXISTING MONUMENT
○	FENCE
○	CONCRETE CURB
○	EXISTING CURB
○	EXISTING SANITARY SEWER
○	EXISTING STORM SEWER
○	EXISTING MANHOLE
○	EXISTING SANITARY LATERAL
○	CONCRETE SIDEWALK OR PAD
○	EDGE OF PAVEMENT
○	PROPOSED WATER SERVICE
○	PROPOSED SANITARY LATERAL
○	18" BELT FENCE
○	TREE PROTECTION FENCE

OWNER CERTIFICATION

ANY REVISION OF THE APPROVED STORMWATER MANAGEMENT PLAN MUST BE APPROVED BY THE MUNICIPALITY & THAT A REVISED E&S PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

OWNER _____ DATE _____
 OWNER _____ DATE _____

MUNICIPAL ENGINEER CERTIFICATION

I, _____ ON THIS DATE _____ HAS REVIEWED AND HEREBY CERTIFIES THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF MUNICIPAL ORDINANCE NO. _____

SIGNATURE _____ DATE _____

I, LAWRENCE J. BYRNE, P.E. ON THIS DATE HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS AND THIS CHAPTER.

SIGNATURE _____ DATE _____

Construction Sequence

1. Protect infiltration area from compaction prior to installation.
2. If possible, install Dry Wells during later phases of site construction to prevent sedimentation and/or damage from construction activity.
3. Install and maintain proper Erosion and Sediment Control Measures during construction as per the Pennsylvania Erosion and Sediment Pollution Control Program Manual (March 2000, or latest edition).
4. Excavate Dry Well bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do NOT compact subgrade. To the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside the limits of the Dry Well.
5. Completely wrap Dry Well with nonwoven geotextile. (If sediment and/or debris have accumulated in Dry Well bottom, remove prior to geotextile placement.) Geotextile rolls should overlap by a minimum of 24 inches within the trench. Fold back and secure excess geotextile during stone placement.
6. Install continuously perforated pipe, observation wells, and all other Dry Well structures. Connect roof leaders to structures as indicated on plans.
7. Place uniformly graded, clean-washed aggregate in 3-inch lifts, lightly compacting between lifts.
8. Fold and secure nonwoven geotextile over branch, with minimum overlap of 12-inches.
9. Place 12-inch lift of approved topsoil over branch, as indicated on plans.
10. Seed on stabilize topsoil.
11. Connect surcharge pipe to roof leader and position over splashboard.
12. Do not remove Erosion and Sediment Control measures until site is fully stabilized.

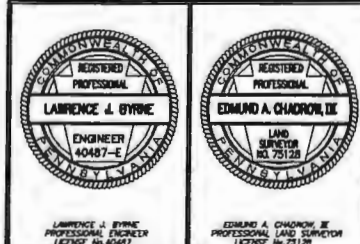
Maintenance Issues

- As with all infiltration practices, Dry Wells require regular and effective maintenance to ensure prolonged functioning. The following represent minimum maintenance requirements for Dry Wells:
- Inspect Dry Wells at least four times a year, as well as after every storm exceeding 1 inch.
 - Dispose of sediment, debris, trash, and any other waste material removed from a Dry Well at multiple disposal/recycling sites and in compliance with local, state, and federal waste regulations.
 - Regularly evaluate the drain-down time of the Dry Well to ensure the maximum time of 72 hours is not being exceeded. If drain-down times are exceeding the maximum, drain the peristalsis, the system may need replacing.
 - Regularly clean out gutters and ensure proper connections to facilitate the effectiveness of the dry well.
 - Replace filter screen that intercepts roof runoff as necessary.
 - If an intermediate sump box exists, clean it out at least once per year.



LOCATION MAP
 SCALE: 1" = 800'

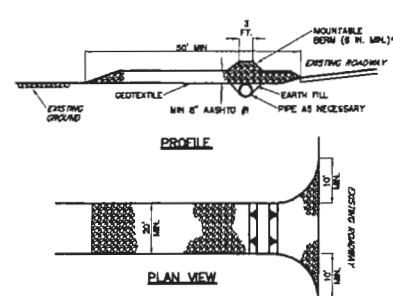
SHEET 3 of 4



GRADING & EROSION CONTROL PLAN
1768 KIMBALL AVENUE
 ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
 MADE FOR
POPPER & DEACON, INC.
 SCALE: 1"=20' 0 20 40 60 29 MARCH 2018
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 333 E. STREET ROAD • WARMINGSTER, PA. 19074 • (215) 672-8971 FAX (215) 672-8765
 EST. 1997

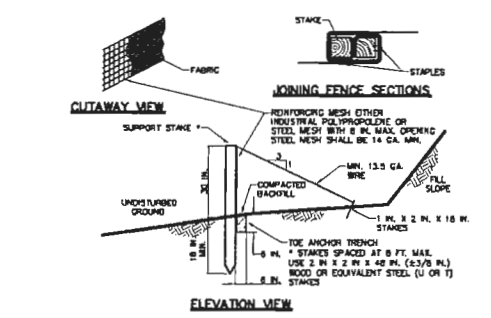
EROSION/SEDIMENT CONTROL PLAN STANDARD NOTES

- Stockpile heights must not exceed 35 feet, stockpile slopes must not exceed 2:1.
- The operator/responsible person (O/R/P) on site shall ensure that the approved erosion and sediment control plan is properly and completely implemented.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the O/R/P shall implement appropriate Best Management Practices (BMPs) to eliminate the potential for accelerated erosion and/or sediment pollution.
- The O/R/P shall ensure that an erosion and sediment control plan has been prepared and approved by the County Conservation District and is being implemented and maintained for all soils and/or rock spoil and borrow areas regardless of their locations.
- All pumping of sediment-laden water shall be through a sediment control BMP such as a pumped water filter bag discharge over an undisturbed area.
- A copy of the approved erosion and sediment control plan must be available on the project site at all times.
- Erosion and sediment BMPs must be constructed, stabilized and functional before site disturbance begins within the tributary areas of those BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during the removal of the BMPs must be stabilized immediately.
- At least seven (7) days before starting any earth disturbance activity, the O/R/P shall advise all contractors involved in that activity, the landowner, all appropriate municipal officials, the erosion and sediment control plan designer and the County Conservation District to a pre-construction meeting. Also, at least three (3) days before starting any earth disturbance activity, all contractors involved in that activity shall notify the Pennsylvania One-Call System, Inc. at 1-800-242-1778 to determine any underground utilities locations.
- Immediately after earth disturbance activity ceases, the O/R/P shall stabilize any areas disturbed by the activity. During non-germinating periods, mulch must be applied at specified rates. Disturbed areas that are not finished grade and which will be re-disturbed within one year must be stabilized in accordance with temporary vegetative stabilization specifications.
- Disturbed areas that are at a finished grade or which will not be re-disturbed within one year must be stabilized in accordance with permanent vegetative stabilization specifications.
- An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% vegetative or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.



**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**
NOT TO SCALE

CONSTRUCTION SEQUENCE
ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE INITIATED. CLEARING & GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System, Inc. at 1-800-242-1778, for buried utilities locations.
STAGE 1 - Install construction entrance & silt fence in accordance with the details. Strip topsoil, stockpile excavated material & protect with silt fence. Immediately stabilize all exposed areas with temporary seed mixture & straw. All erosion & stabilization control must be implemented before proceeding to Stage 2.
STAGE 2 - Upon completion of Stage 1 begin construction of dwelling, driveway & final grades as per the approved plans. Distribute topsoil from the storage area & stabilize disturbed areas in accordance with the seeding & mulching guidelines found on the plans. After final site stabilization has been achieved, temporary erosion & sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately. Immediately after earth disturbance activities cease, the operator shall stabilize any activities disturbed by the activities during non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade & which will be re-disturbed within one year must be stabilized in accordance with the temporary vegetative stabilization specifications. Disturbed areas which are at finished grade or which will not be re-disturbed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other non-vegetative cover with a density sufficient to resist accelerated surface erosion & subsurface characteristics sufficient to resist sliding & other movements.

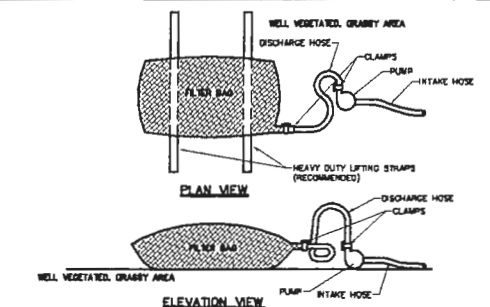


**STANDARD CONSTRUCTION DETAIL #4-8
REINFORCED SILT FENCE (30" HIGH)**
NOT TO SCALE

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

DEPRESSED CURB DETAIL
NOT TO SCALE

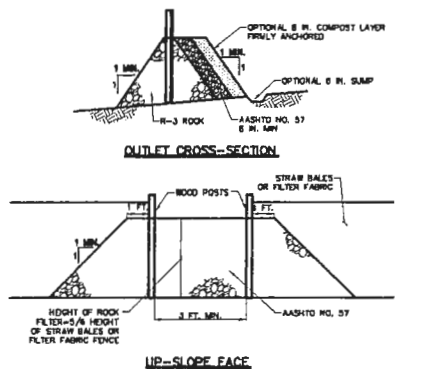
TAPERED CURB DETAIL
NOT TO SCALE



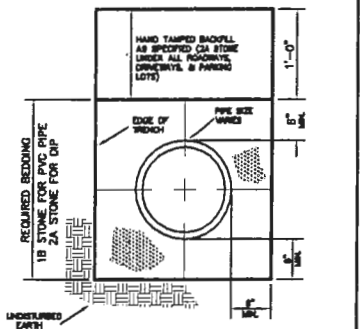
**STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG**
NOT TO SCALE

WIDENING
NOT TO SCALE

PERMANENT PAVEMENT AND TRENCH RESTORATION
NOT TO SCALE



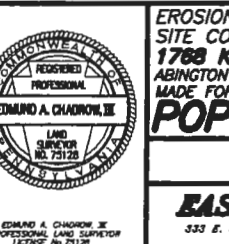
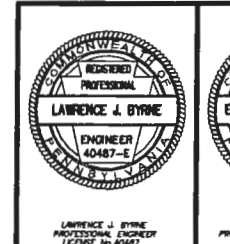
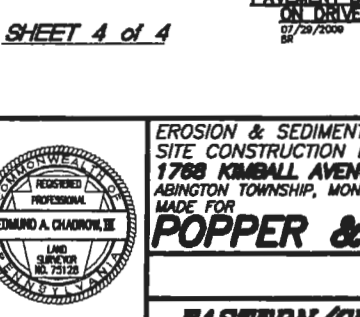
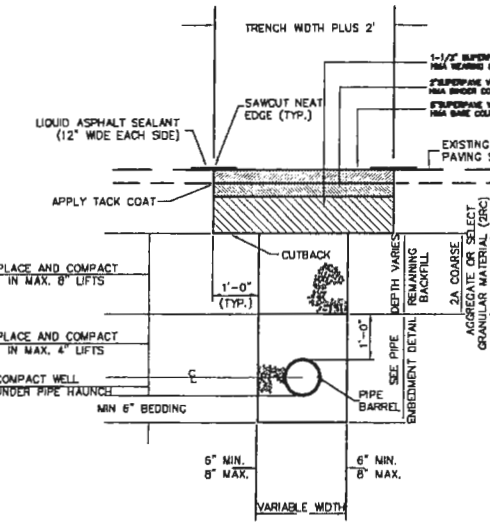
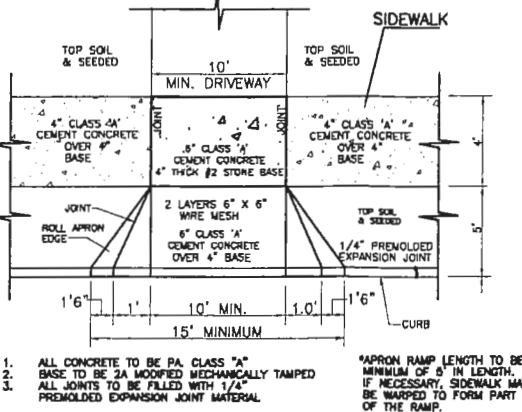
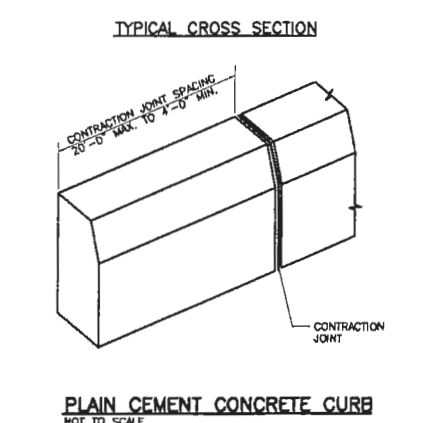
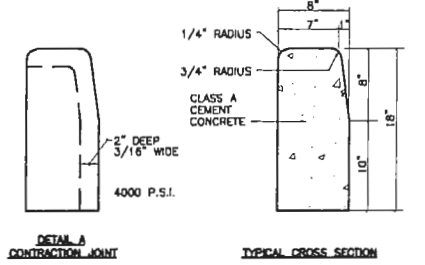
**STANDARD CONSTRUCTION DETAIL #4-6
ROCK FILTER OUTLET**
NOT TO SCALE



TRENCH RESTORATION & BACKFILL FOR UN-IMPROVED AREAS
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES

- DATE PROJECT TO BEAR: SPRING 2018
DATE OF FINAL ESTABLISHMENT: FALL 2018
- A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SHOWN ON THE PLAN.
- TEMPORARY SEED MIXTURE**
ALL AREAS OF SURFACE DISTURBANCE SUBJECT TO STORMWATER RUNOFF SHALL BE SEEDED AND MULCHED IMMEDIATELY. SEED REGULATIONS REQUIRE THAT UPON COMPLETION OF TEMPORARY CONSTRUCTION OF THE EARTH DISTURBANCE ACTIVITY, ON ANY EXPOSED TRENCH, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED, AS FOLLOWS:
1) PERFORM CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
2) APPLY LIMESTONE FERTILIZER @ 100 LBS. PER 1,000 SQ. FT.
3) APPLY 10-10-10 FERTILIZER @ 10 LBS. PER 1,000 SQ. FT. OR 3 TONS PER ACRE.
4) WORK IN LINE AND FERTILIZER TO A DEPTH OF 4 INCHES USING SUITABLE EQUIPMENT.
5) APPLY WHITE RICE @ 3.5 LBS. PER 1,000 SQ. FT.
6) COVER THE WITH 3 INCHES OF SOIL OR SEEDABLE MATERIAL. SOIL MAY BE ALTERED ACCORDING TO TESTS MADE AT SITE OR, AFTER OCTOBER 15TH, SHALL BE COVERED WITH SMALL GRASS SEED AT A RATE OF 127 LBS. PER 1,000 SQ. FT. OR 3 TONS PER ACRE.
7) DURING NON-GERMINATING PERIODS (BETWEEN OCTOBER 15 AND MARCH 1) TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED BY MULCHING WITH SMALL GRASS SEED AT A RATE OF 127 LBS. PER 1,000 SQ. FT. OR 3 TONS PER ACRE. CONSULT THE AGRICULTURE GUIDE, 2009-2008 FOR OTHER ALTERNATIVES.
- PERMANENT SURFACE MATERIALS SHALL BE PLACED AS SOON AS CONSTRUCTION OPERATIONS ALLOW, IN ACCORDANCE WITH GUIDELINES ON THE PLAN.
- STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE FOLLOWED. SHOULD UNEXPECTED POLLUTION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMOVE SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR INCREASED EROSION. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT SLOPES, STOCKPILES OF WOOD CHIPS, MULCH, CRUSHED STONE AND OTHER MATERIALS WHICH ARE IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- NO PORTION OF THE SUBJECT PROPERTY IS DESIGNATED AS WETLANDS ACCORDING TO NATIONAL WETLANDS INVENTORY MAPS.
- THE BEDDING BENCH AND/OR DRIVEWAYS ON SITE ARE PERMANENT FACILITIES & SHALL NOT BE ALTERED. THE BEDDING BENCH SHALL BE PROTECTED BY MULCHING, COVERING, OR OTHER MEANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE, AND REPAIR OF ALL PERMANENT FACILITIES. ANY DAMAGE TO PERMANENT FACILITIES SHALL BE REPAIRED IMMEDIATELY. ANY MATERIALS THAT CAN BE RECYCLED SHOULD BE COMPLETED ACCORDING TO LOCAL, COUNTY, STATE & FEDERAL LAWS.
- THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS & WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 26 PA. CODE 5801 et seq., 2711 et seq. THE CONTRACTOR SHALL NOT ILLEGALLY BURN, DUMP OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THIS SITE.



**EROSION & SEDIMENTATION CONTROL DETAILS
SITE CONSTRUCTION DETAILS
1768 KIMBALL AVENUE
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
MADE FOR
POPPER & DEACON, INC.
29 MARCH 2019
EASTERN/CHADROW ASSOCIATES, INC.
333 E. STREET ROAD • WARMINGTOWN, PA. 18974 • (215) 672-8671 FAX (215) 672-8785
EST. 1967**